

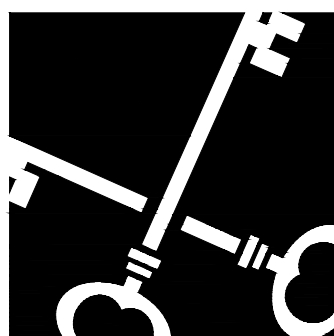
# Union Baptist Church

Slate Roof Renovations  
1921 Main Street, Hartford, CT

REISSUED FOR BIDDING  
1/17/2023

Owner:

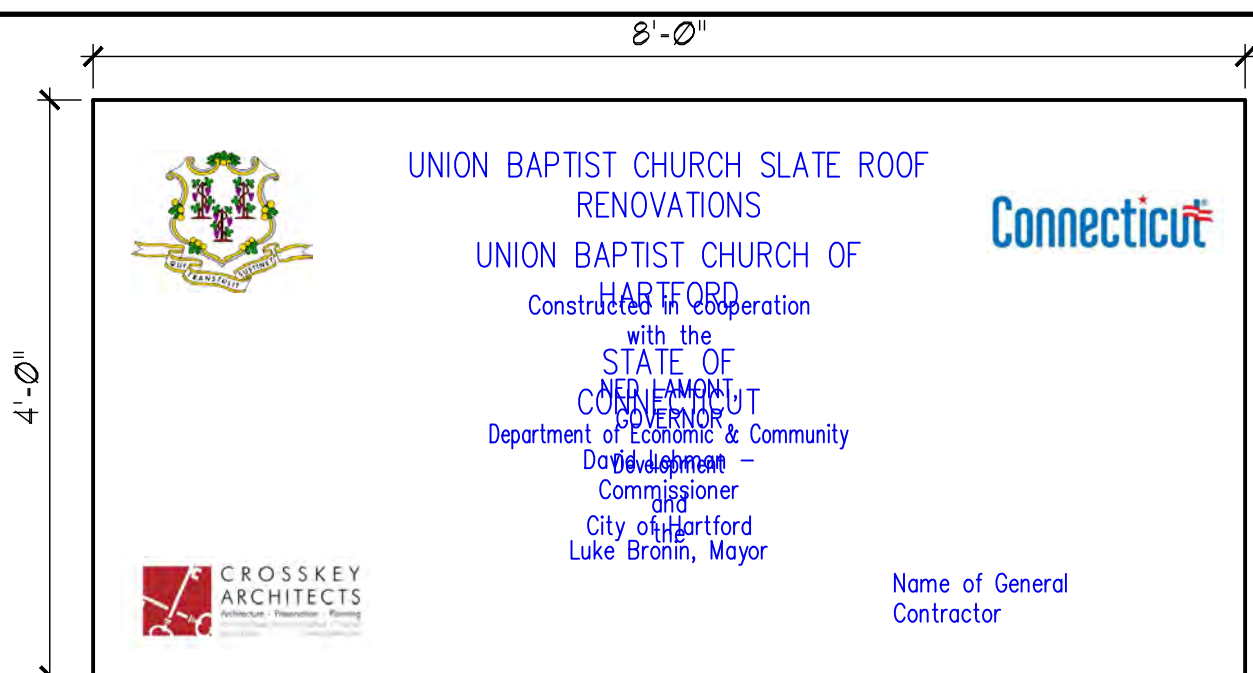
Union Baptist Church of Hartford  
1921 Main Street  
Hartford, CT 06120  
860-247-0648



Architect:

Crosskey Architects LLC  
750 Main Street, Suite 150  
Hartford, CT 06103  
860-724-3000

## PROJECT SIGN

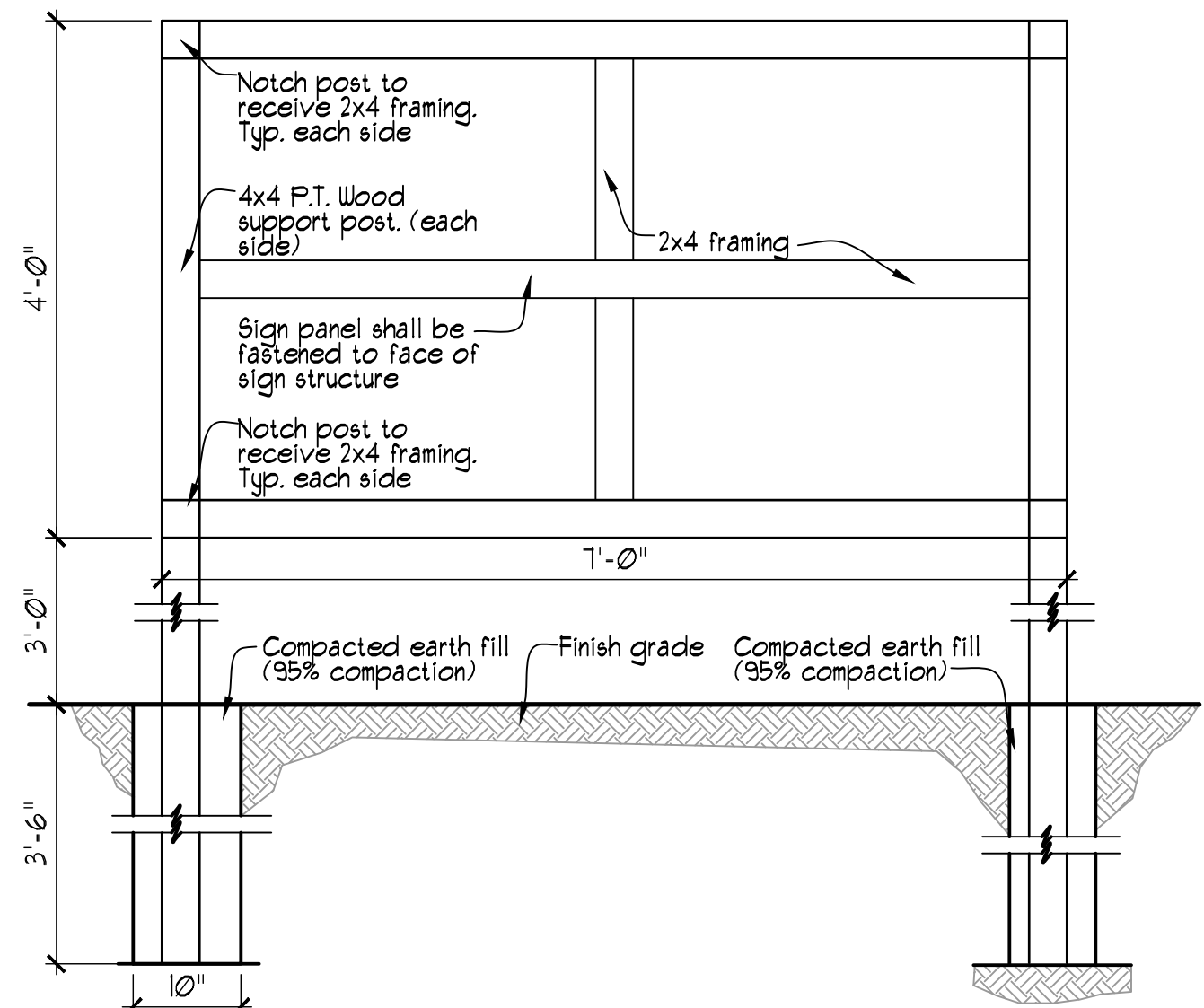


### TEMPORARY PROJECT SIGN

NO SCALE

#### NOTES:

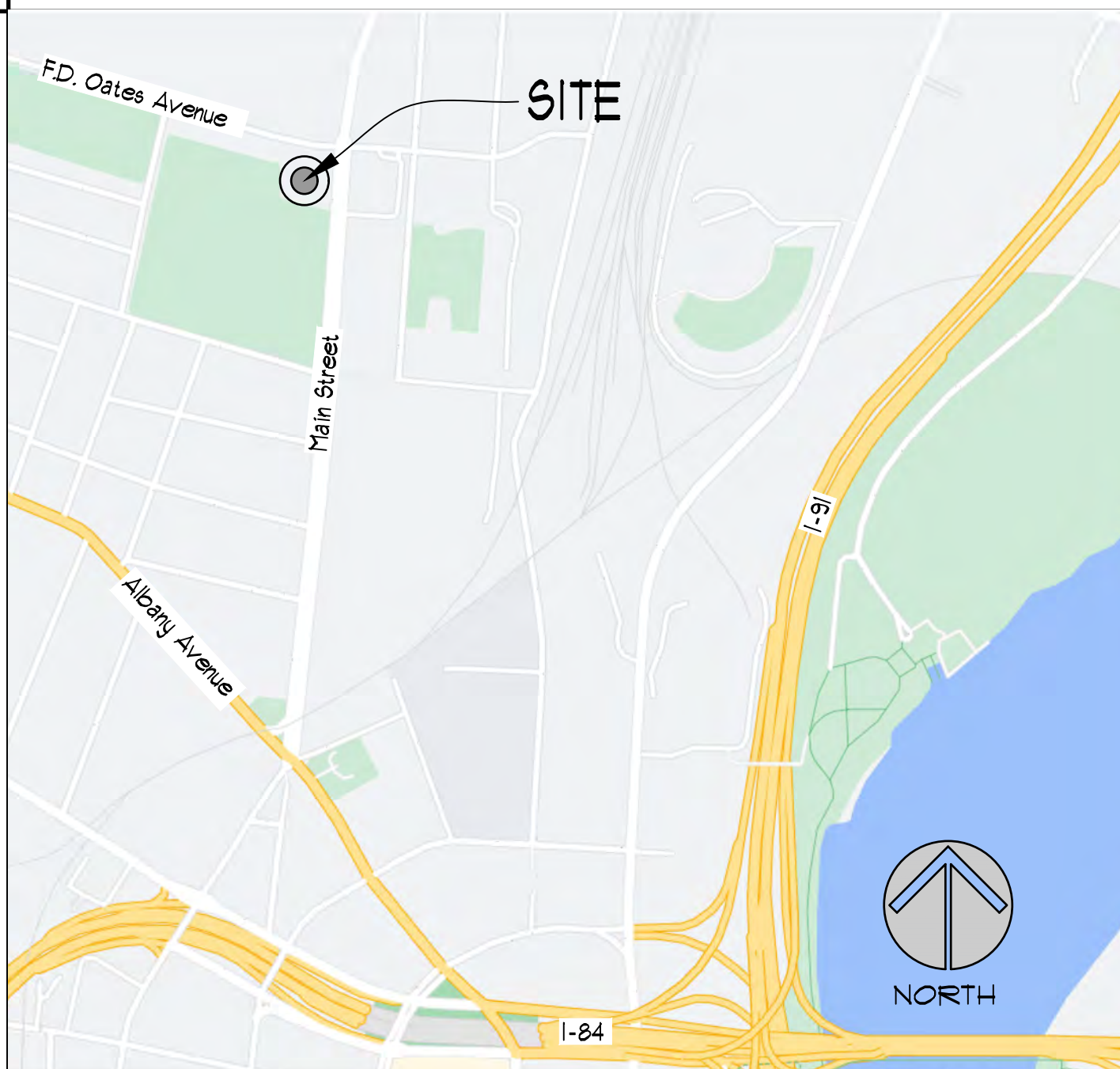
- 3/4" MDO EXT-AFA grade plywood with (2) 4x4 treated wood columns and secured 4" into grade. Top of sign at 8'-0" above grade.
- All letters and symbols are to be royal blue. The background will be white enamel. Back of plywood and support structure shall be painted matte black.
- Type face to be Helvetica Medium
- Sign must be located to be clearly visible to the public
- Install at the start of construction and remove at construction completion.
- Provide shop drawings which shall include means of mounting



### PROJECT SIGN SUPPORTING FRAME

NO SCALE

## LOCATION MAP



### 1 SITE PLAN

SCALE: 1" = 40'-0"



## NOTES

### SCOPE OF WORK DESCRIPTION:

The scope of work for this project is a phased approach to the restoration, and replacement of portions of the existing slate and bitumen roofing, replacement of flashings, replacement of built-in gutters, and repointing of existing masonry, all at the eastern end of the church structure. The project has been arranged to be performed (if necessary) in separate phases. The base bid includes the work outlined as "Phase 1". Alternate prices for the other phases shall be provided via bid alternates. Any phases determined to best be performed at the same time may be considered together as a single alternate. Areas with shingle roofing, windows, and building framing are to remain 'as-is' except to the extent they need to be altered by proposed adjacent work. Refer to drawings for more information.

Restoration shall encompass cleaning, restoring, refinishing and in some cases, replacing wood components to match existing. All exterior wood components will be scraped of loose/flaking paint, cleaned, sanded as needed in order to refinish, and repainted.

Wood components within the scope of work shall include, but are not limited to, all trim, soffit, and eaves at dormers and roof edge, and built-in gutters and trim and the underside of roof decking at all overhangs.

### DEFINITIONS:

RESTORE	Renovate to original "like new" condition. If portions of work are damaged beyond repair, consult architect and replace w/ new to replicate original.
CLEAN	Remove dirt, soil, debris and any foreign elements adhered to the surface per Preservation Brief #1 - Cleaning and Water Repellent treatments for Historic Masonry Buildings. Consult with Architect on method of cleaning.
REPLACE	Remove existing and provide & install new material. Replacement material shall match existing component.
REFINISH	Renovate existing finish to original "like new" condition.
REFURBISH	Clean, restore, refinish to match original "like new" condition.
MATCH EXISTING	Area of work shall replicate in every respect similar elements, finishes, etc., which are existing. If existing work is to be improved, items noted to match existing shall match the improved condition.

\*NOTE: In all of the above, consult w/ Architect and refer to plans.

### WOOD PRESERVATION AND RESTORATION NOTES:

- Using an ice pick or awl, test wood for soundness and inspect wood to determine scope and cause of deterioration from water damage and rot.
- Remove paint per Preservation Brief #10 - Exterior Paint Problems on Historic Woodwork. Acceptable methods of paint removal include putty knife, paint scraper, sandpaper, sanding block, sanding and sponge. Scraping should be done with care to avoid gauging the wood. Sanding should be done with the grain. Mock-ups of paint removal methods (scraping and sanding) must be reviewed and approved the State Historic Preservation Office (SHPO) before proceeding with this work.
- Dry wood thoroughly before treating decayed area.
- Replace any missing or unrepairable wood components. Material and construction to match existing/surrounding area. All original wood components are detailed with chamfered edges, which is a character defining feature. All new replacement components and dutchman repair sections shall have chamfered edges.
- Wood components requiring dutchmen repairs, remove deteriorated material down the sound surface (area slightly larger than the area of damage). Splice in new wood component to match existing. New or recycled wood should be seasoned to avoid shrinkage. A mock-up of the a dutchmen repair must be reviewed and approved by the SHPO.
- Clean wood components containing surface mildew. A recommend solution for removing mildew consists of one cup non-ammoniated detergent, one quart household bleach, and one gallon water. When the surface is scrubbed with this solution using a medium soft brush, the mildew should disappear however, for particularly stubborn spots, an additional quart of bleach may be added. After the area is mildew-free, it should then be rinsed with a direct stream of water from the nozzle of a garden hose, and permitted to dry thoroughly. When repainting, specially formulated "mildew-resistant" primer and finish coats should be used.
- Putty, epoxy patch or epoxy inject all cracks and holes in wood unless noted otherwise to achieve a matching aesthetic to that of the original wood component. If/when necessary, epoxy patching compounds can be used to build up missing sections of decayed components. A mock-up of an epoxy repair and injection must be reviewed and approved by the SHPO.
- Tongue and groove board at underside of roof shall receive varnish in lieu of paint. Sand existing surface with an orbital sander to remove existing finish. Apply new varnish coating to protect the wood. A mock-up of the sanding and varnish coating must be reviewed and approved by SHPO.

## DRAWING INDEX

Cover Project Information and Abbreviations

A-001 Roof Repair Phasing Plan

A-101 Phase 1 Roof Details

A-102 Phase 2 Roof Details

A-102a Phase 2 Roof Details

A-103 Phase 3 Roof Details

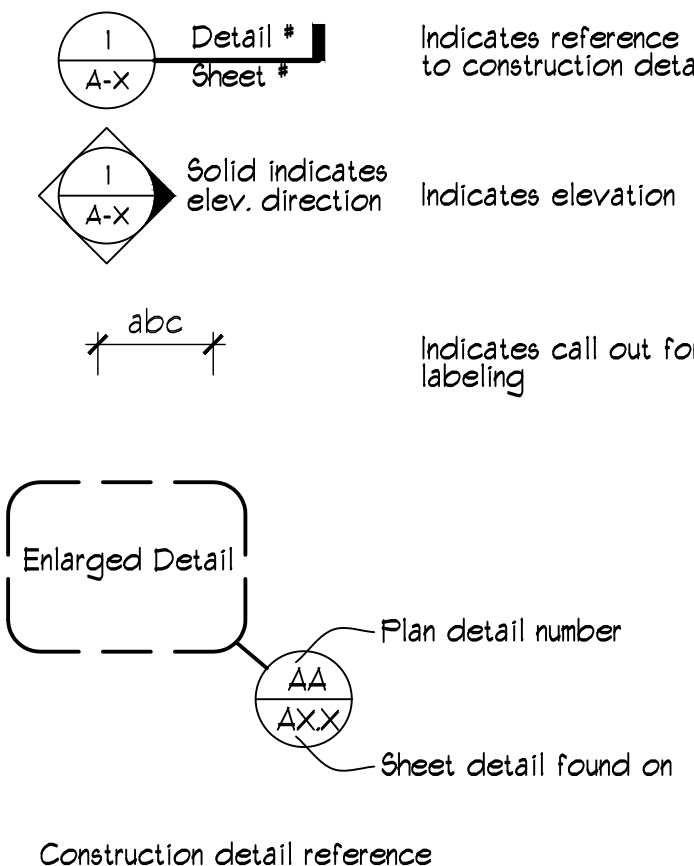
A-104 Phase 4 Roof Details

A-105 Phase 5 Roof Details

## ABBREVIATIONS

ABBREV	Abbreviation	DB	Deck Beam	IN	Inch	P	Panel	T	Trim
AFF	Above finished Floor	DC	Dowel Caps	INT	Interior	PTD	Painted	T4B	Top & Bottom
AP	Applied Decoration	DIA	Diameter	KP	Kingpost	QR	Quarter Round	T4G	Tongue & Groove
APPROX	Approximate	DIM	Dimension	LF	Lineal Foot	RA	Rafter	TO	Top of
ARCH	Architectural	DWG	Drawing	MAX	Maximum	RB	Roof Beam	TYP	Typical
B	Brace	E	East	MFR	Manufacturer	RD	Roof Decking	VIF	Verify in Field
BB	Brace Beam	EA	Each	MIN	Minimum	REFR	Reference	W	West
BK	Bracket	EB	East Bay	MISC	Miscellaneous	REQ'D	Required	W/	With
BLDG	Building	EC	End Cap	MTD	Mounted	RKD	Rake Detail	WB	Wall Bay
BP	Brace Post	ED	Eave Detail	MTL	Metal	RP	Roof Furlin	WF	Wood Furring
CL	Center Line	EL	Elevation	N	North	S	South	WP	Wall Post
C	Column or Column Component	EQ	Equal	NB	North Bay	SB	South Bay	WD	Wood
CB	Cross Brace	EXG	Existing	NIC	Not in Contract or * Number	SF	Square Foot	W/O	Without
CJ	Control Joint	EXT	Exterior	NO	Nominal	SIM	Similar		
CFM	Center Framing Members	FB	Fascia Board	NOM	Nominal	SQ	Square		
CLG	Ceiling	FJ	Floor Joist	NTS	Not To Scale	ST	Strut		
CLKG	Caulking	FLRG	Flooring	OC	On Center	STD	Standard		
CLR	Clear	FT	Fascia Trim	OPNG	Opening	SU	Scroll Work		
CONT	Continuous	GC	General Contractor	OPP	Opposite				
COR	Corice	GR	Grille						
CT	Collar Tie	HGT	Height						
CTR	Center	HORIZ	Horizontal						

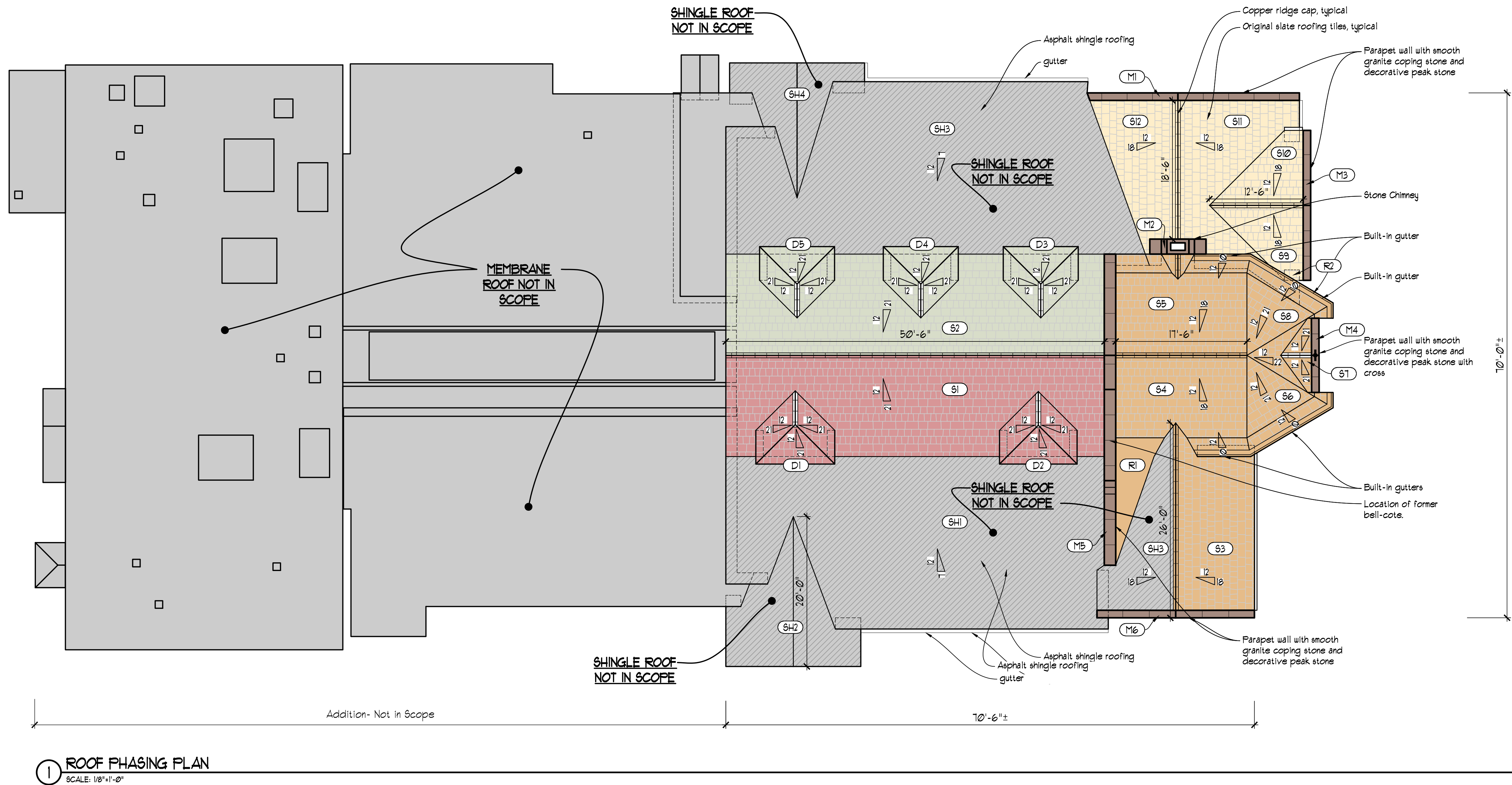
## SYMBOL LEGEND





GENERAL PROJECT NOTES

- ALL WORK PERFORMED AS HEREIN SPECIFIED OR INDICATED ON DRAWINGS SHALL BE OF THE HIGHEST QUALITY WORKMANSHIP AVAILABLE, AS WELL AS BEING DONE IN ACCORDANCE WITH THE STATE OF CONNECTICUT BUILDING CODE AND ALL OTHER REQUIREMENTS OF THE STATE AND LOCAL AUTHORITIES.
- DURING THE COURSE OF THE WORK/ PROJECT, NO CHANGES TO THE SCOPE WILL BE PERMITTED, UNLESS SPECIFICALLY REQUESTED/ AUTHORIZED BY DULY AUTHORIZED OWNER'S PERSONNEL.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE TO PATCH, REPAIR AND OTHERWISE CORRECT AT HIS OWN EXPENSE ANY DAMAGES INCURRED TO THE PREMISES CAUSED BY HIS PERSONNEL OR THOSE OF HIS SUBCONTRACTORS DURING THE COURSE OF THE WORK. THE OWNER AND GENERAL CONTRACTOR WILL CHECK THE PREMISES BEFORE WORK COMMENCES TO ESTABLISH PRIOR CONDITION.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE OWNER (IF ANY) INCLUDING THE MANNER OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICTS WITH NORMAL USE OF THE BUILDING AND SITE. HE SHALL SEQUENCE HIS WORK ACCORDING TO A SCHEDULE APPROVED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTION OF ALL EXISTING CONDITIONS AS REQUIRED. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PUBLIC AREAS FREE OF MATERIALS AT ALL TIMES UNLESS PRIOR APPROVAL IS GIVEN.
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE GENERAL CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.
- IT HAS BEEN DETERMINED THAT SOME COMPONENTS OF THE EXISTING ROOFING SYSTEM (PREDOMINANTLY ASPHALTIC TAR) CONTAIN ASBESTOS FIBERS. CONTRACTOR SHALL FOLLOW ALL APPROPRIATE PROTOCOLS FOR PROTECTION, REMOVAL, HANDLING, AND DISPOSAL OF ALL ROOFING PRODUCTS. REFER TO REPORT PREPARED BY EAGLE ENVIRONMENTAL, INC. FOR ADDITIONAL INFORMATION AND RECOMMENDATIONS. ALL WORK SHALL BE CARRIED OUT BY A CERTIFIED ROOFING CONTRACTOR.



1 ROOF PHASING PLAN  
SCALE: 1/8"=1'-0"

SCOPE OF WORK DESCRIPTION

- Remove existing slate and save for reinstallation. Install new underlayment over the entire area to provide for long-term serviceable installation. Reinstall slate and provide new slate to match existing where existing slate has failed. (Assume 30% new slate required)
- Replace flashings at steps, hips, ridges and valleys with new 20 oz. copper.
- Replace built in gutters with new 20 oz. copper. Install drip strips where water falls from the slate to the gutters to increase the service life of gutters.
- Replace lead counterflashings with new cut reglets. Counterflashings shall be new lead, or lead coated, or zinc coated copper to continue the grey color.
- Clean and repoint masonry in areas above the roof line as necessary.
- Provide further investigation of the steel bar below the coping stones to understand its function.
- Where coping stones are out of plane, (due to water entry into the stone wall below and freeze/thaw cycles), rebuild and install new through-wall flashing.
- Remove existing roofing on low-slope roofs down to sheathing. Repair/ replace sheathing as necessary, and install new modified bitumen roofing.
- Built in copper-lined woodwork gutters to be replaced with new lined woodwork gutters to match existing profile, and painted.

PHASING LEGEND (Refer to keyed notes at Scope of Work Description)

PHASE 1



(S1)  
(D1)  
(D2)

SCOPE OF WORK

1 2 4

PHASE 2



(S3)  
(S4)  
(S5)  
(S6)  
(S7)  
(S8)  
(R1)

SCOPE OF WORK

1 2 3 4 8 9

PHASE 3

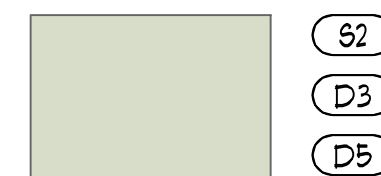


(S9)  
(S10)  
(S11)  
(S12)  
(R2)

SCOPE OF WORK

1 2 3 4 8 9

PHASE 4



(S2)  
(D3)  
(D5)

SCOPE OF WORK

1 2 4

PHASE 5

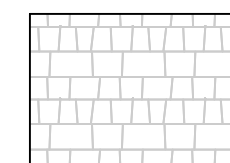


(M1)  
(M2)  
(M3)  
(M4)  
(M5)  
(M6)

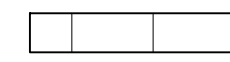
SCOPE OF WORK

5 6 7

MATERIAL LEGEND



Original slate roof



Coping stone cap



Roof not in scope

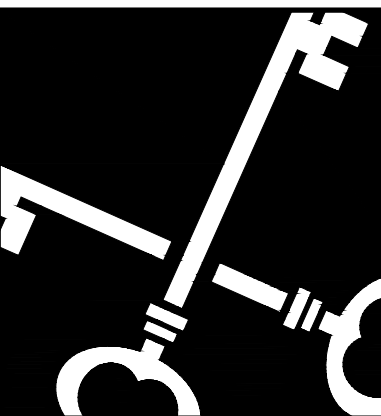
(S1)

Project section identifier:  
D= Dormer (slate)  
M= Masonry  
R= Low slope membrane  
S= Slate  
SH= Shingle

ROOF REPAIR PHASING PLAN

A-001

Copyright © 2023



Crosskey  
Architects  
LLC

Architecture Preservation Planning  
750 Main Street, Hartford, CT 06103  
T: (860)724-3000 F: (860)724-3013

Slate Roof Renovations  
1921 Main Street, Hartford, CT  
Union Baptist Church  
1921 Main Street, Hartford, CT

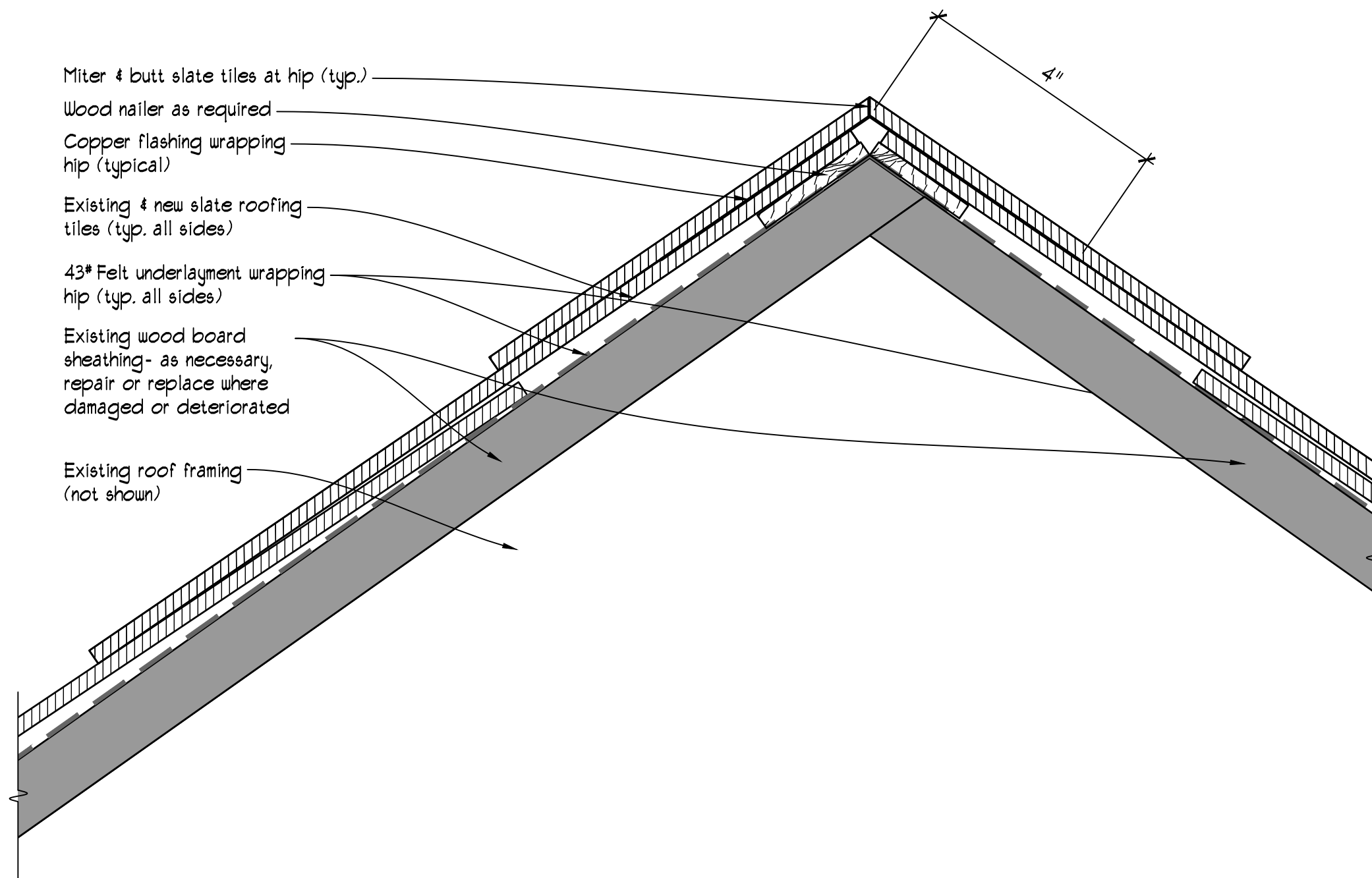
ISSUED FOR BIDDING  
NOT FOR CONSTRUCTION

Drawn: JC, CW

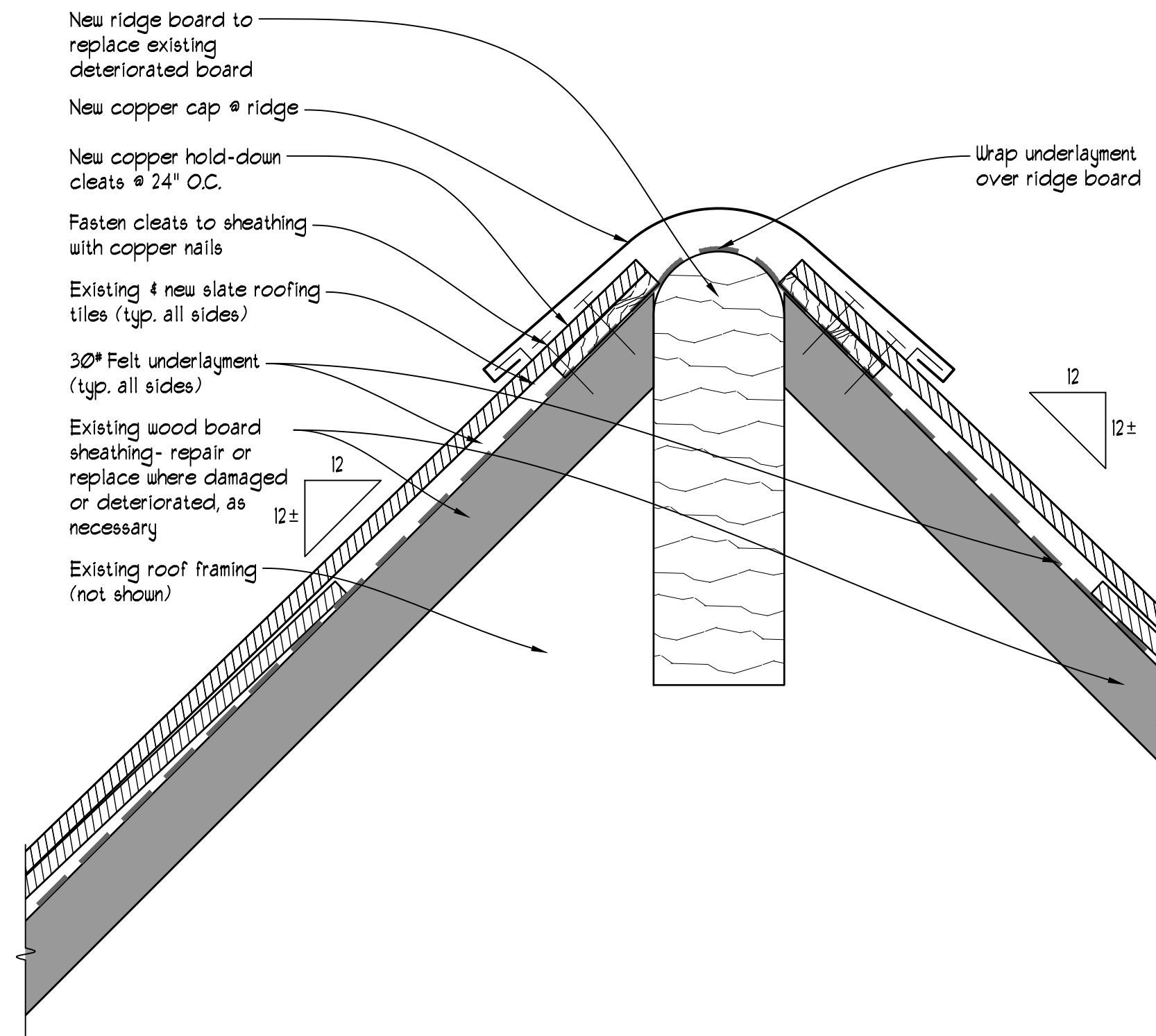
Date: 10/11/2022

Revisions

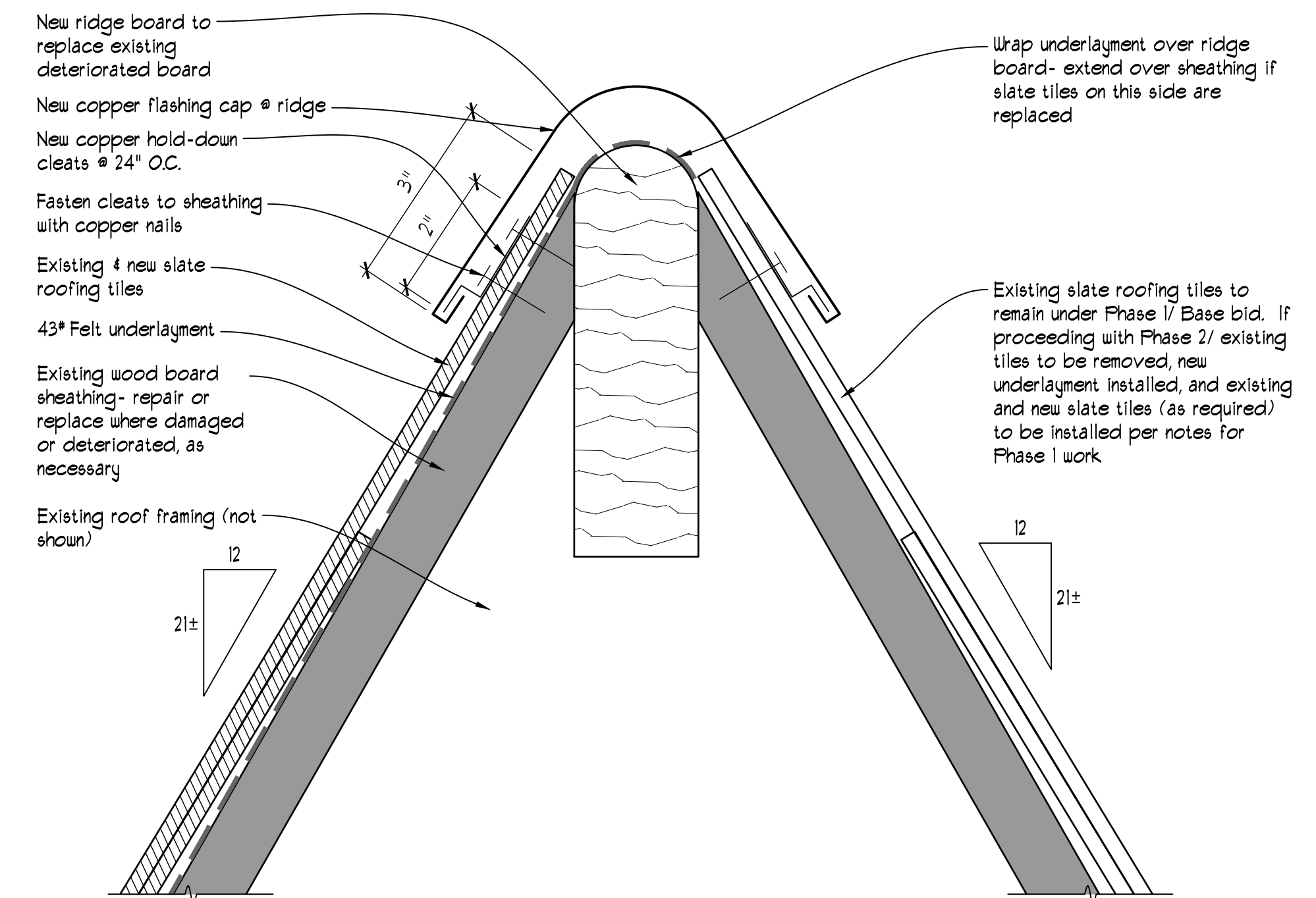




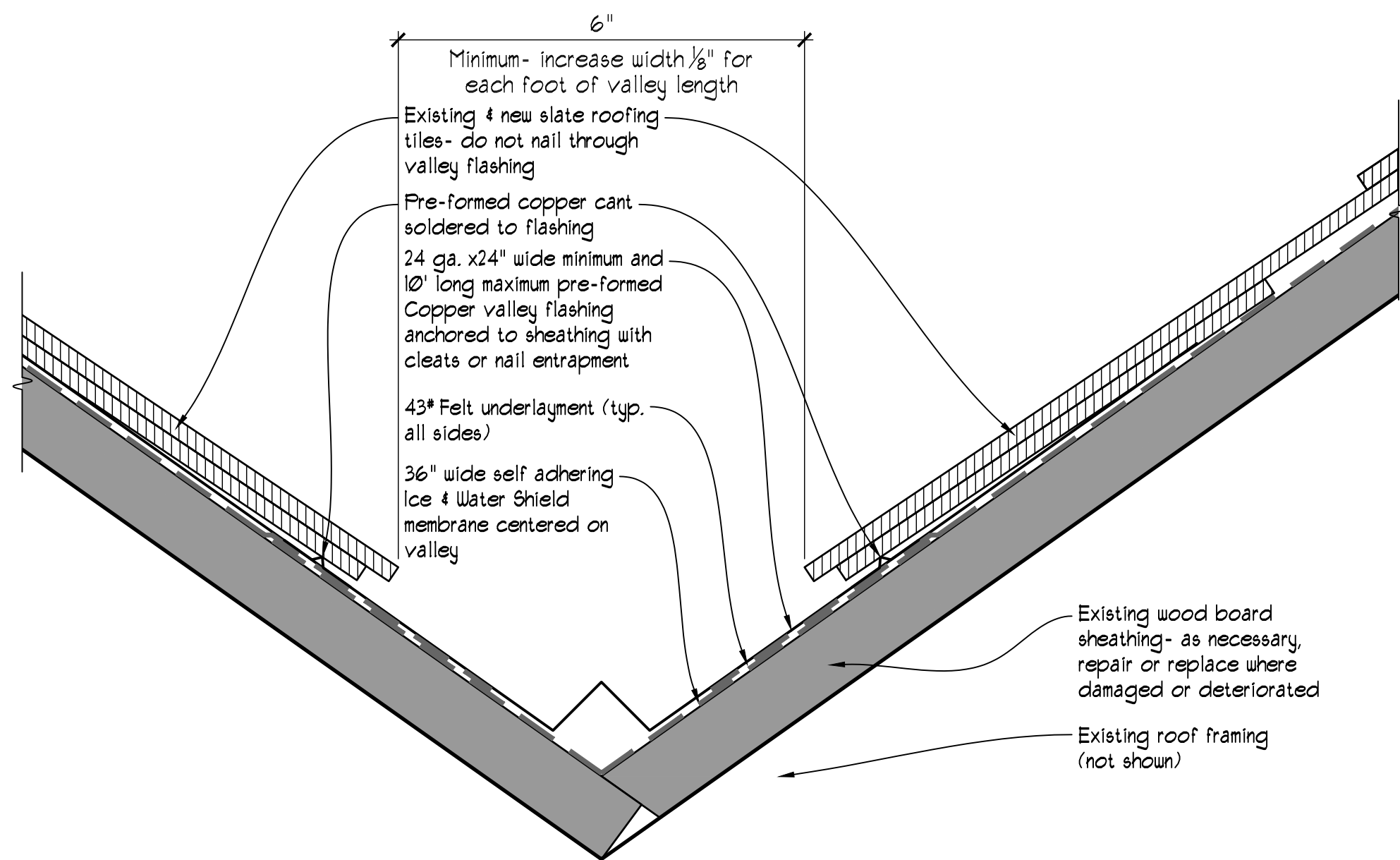
4 TYPICAL DORMER HIP DETAIL  
SCALE: 6"=1'-0"



3 TYPICAL DORMER RIDGE DETAIL  
SCALE: 6"=1'-0"



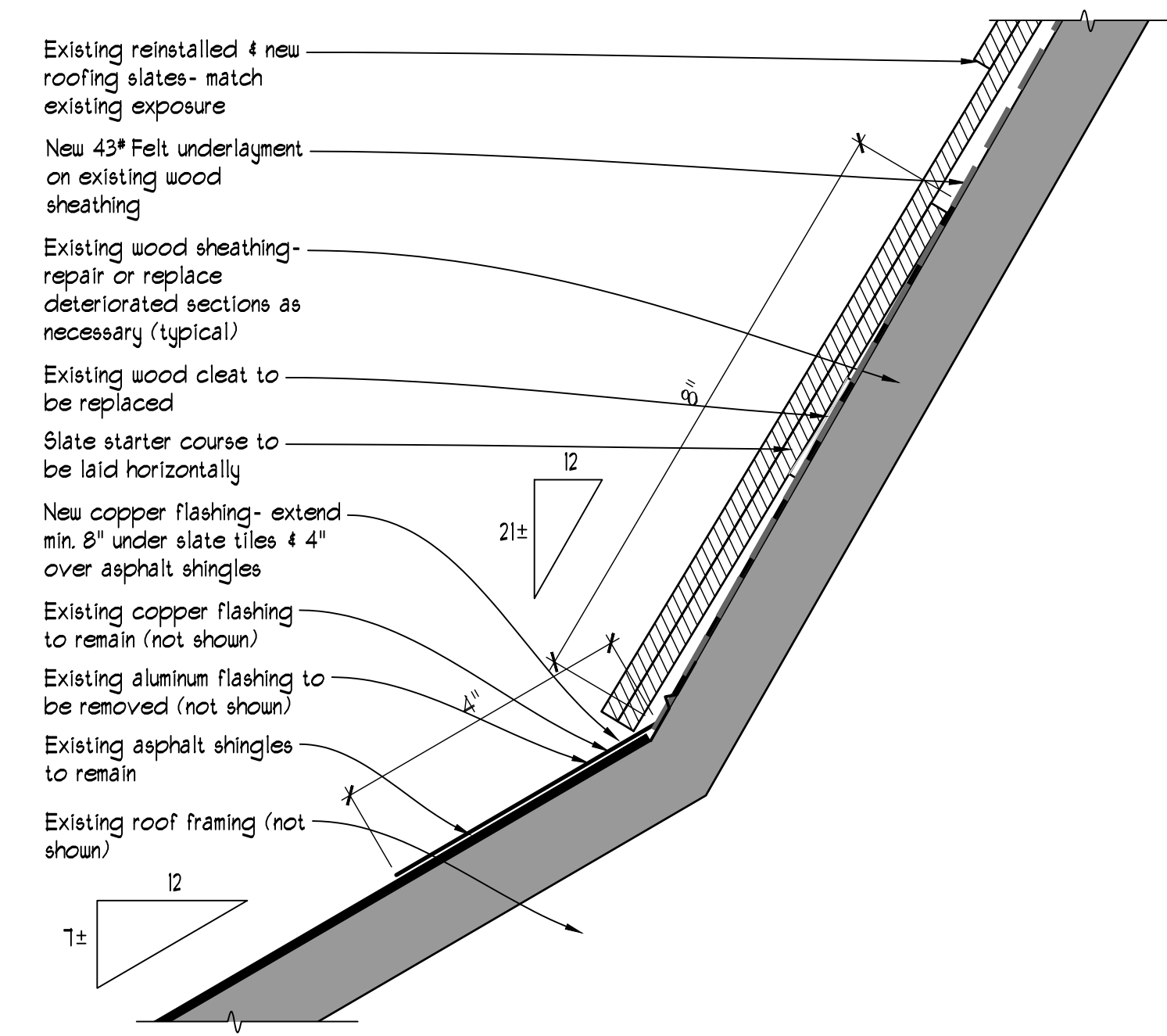
2 TYPICAL RIDGE DETAIL  
SCALE: 6"=1'-0"



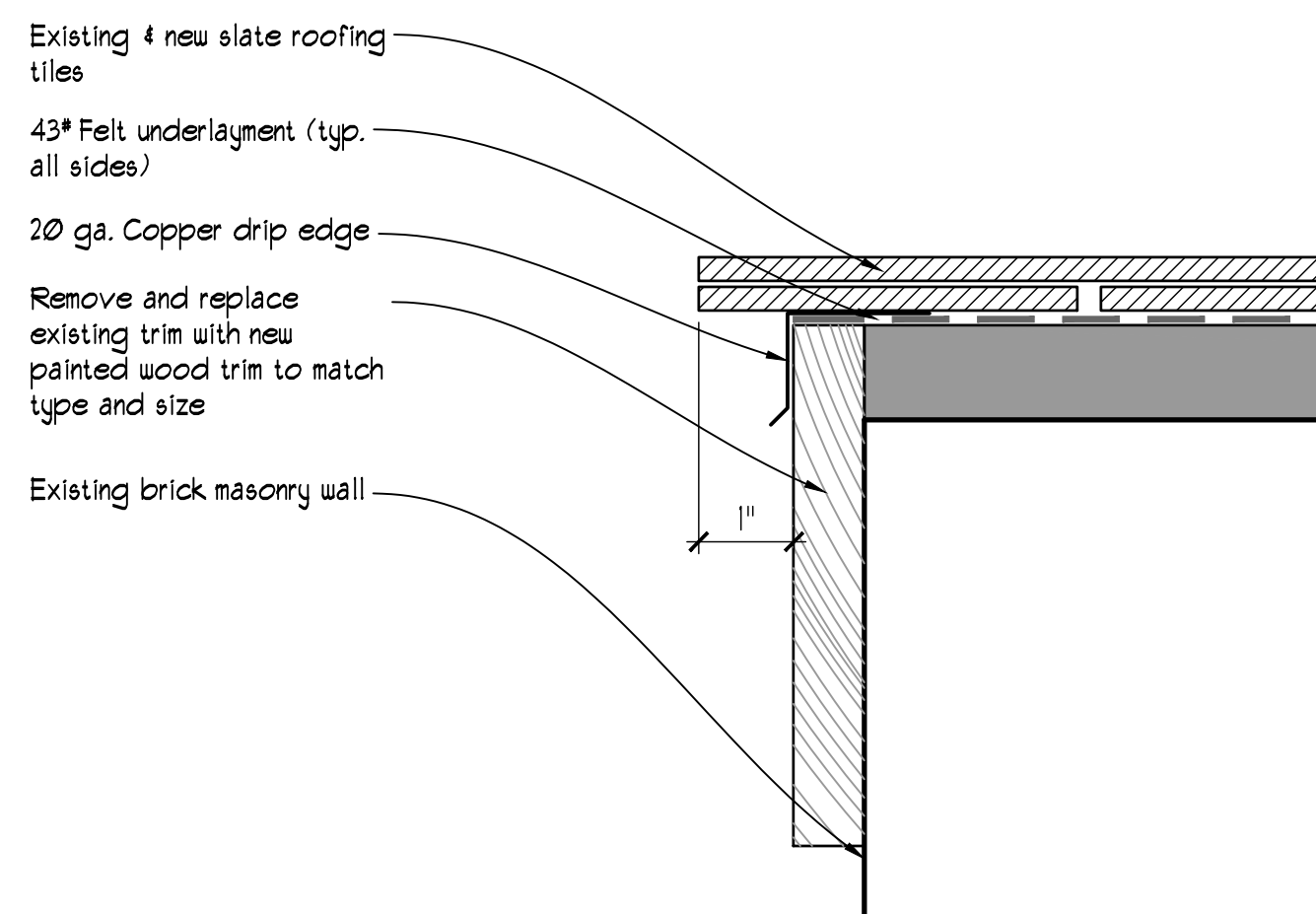
5 TYPICAL VALLEY DETAIL  
SCALE: 6"=1'-0"

PHASE I GENERAL SCOPE OF WORK:

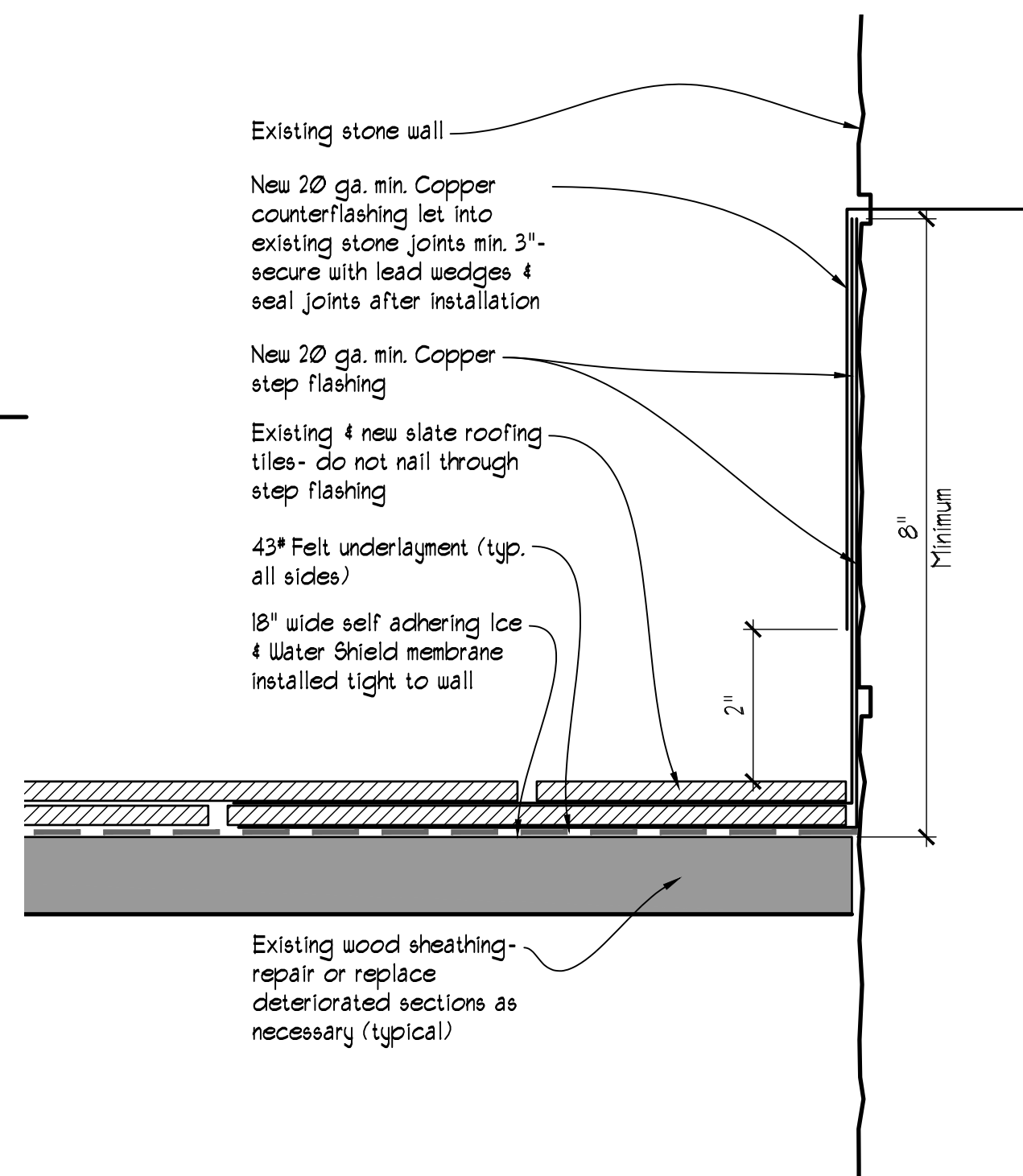
1. THIS SCOPE OF WORK NARRATIVE PROVIDES A GENERAL OVERVIEW OF THE EXTENT OF THE AREA INVOLVED IN THIS SCOPE, AND IS NOT INTENDED TO IDENTIFY ALL ASPECTS OF THE WORK REQUIRED, WHICH IS GOVERNED BY THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS.
2. REMOVAL OF EXISTING SLATE ROOFING & UNDERLAYMENT DOWN TO EXISTING ROOF DECK WITHIN S1, D1, & D2 AREAS. ADJACENT AREAS AFFECTED BY THIS SCOPE INCLUDE S4I, S2, M5.
3. EXAMINATION AND REPAIR OF EXISTING WOOD DECKING WITHIN PRIMARY AREAS AS REQUIRED.
4. REPLACE EXISTING FLASHINGS AND COUNTERFLASHINGS WITHIN PRIMARY AREAS.
5. INSTALLATION OF NEW ROOFING UNDERLAYMENT, ALONG WITH NEW ICE & WATER BARRIER.
6. REPAIR AND REPLACEMENT IN KIND OF EXISTING WOOD EAVES, RAFTER TAILS, AND TRIM AS REQUIRED.
7. REINSTALLATION OF EXISTING (AND NEW, IF REQUIRED) SLATE ROOFING SHINGLES.
8. REINSTALLATION OF EXISTING (AND NEW, IF REQUIRED) SNOW GUARDS.
9. REPAIR, PREPARATION, PRIMING AND PAINTING OF WOOD EAVES, RAFTER TAILS, AND TRIM, INCLUDING ENTIRE D1 & D2 DORMER.



1 TRANSITION DETAIL @ SHINGLE ROOF  
SCALE: 6"=1'-0"



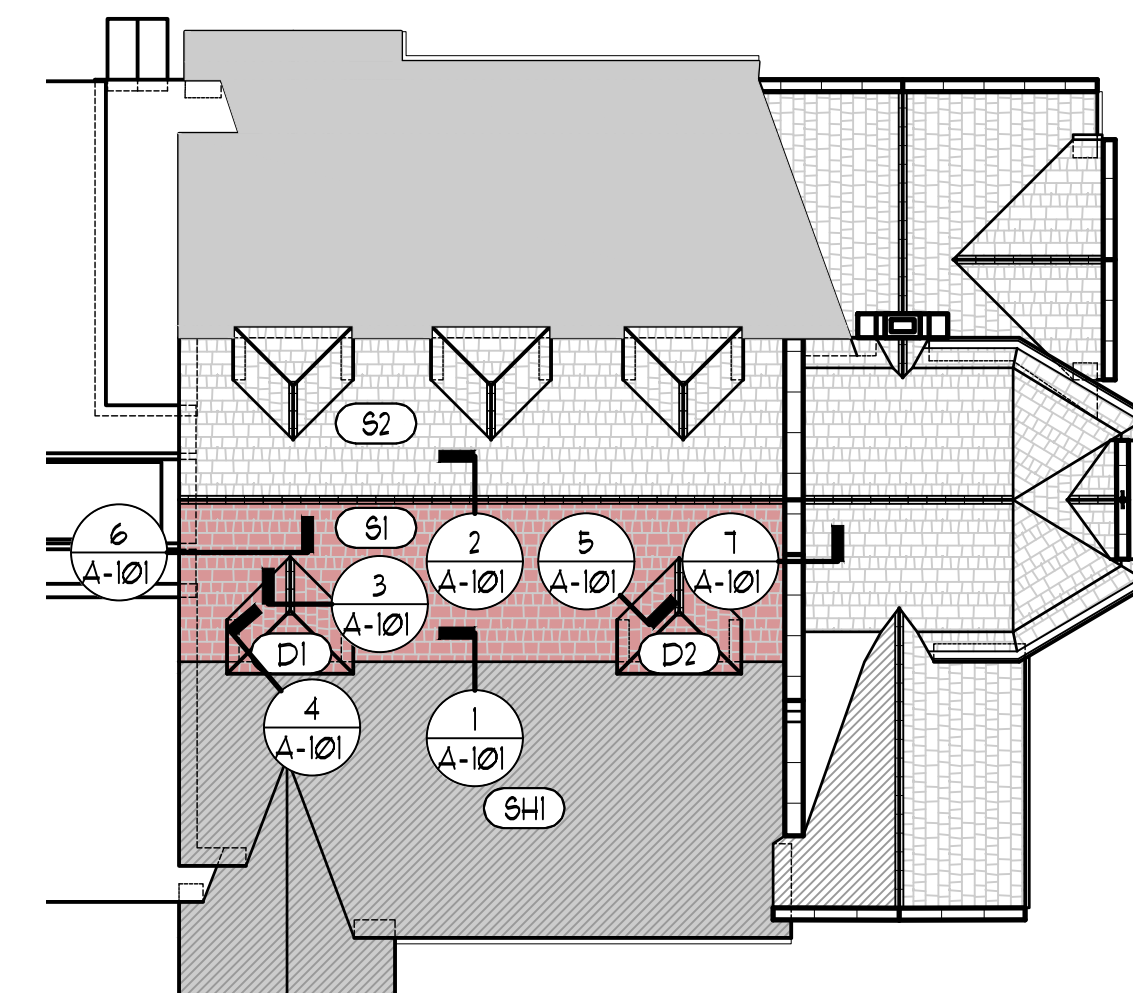
6 TYPICAL RAKE DETAIL @ WEST EDGE OF MAIN ROOF (S1)  
SCALE: 6"=1'-0"



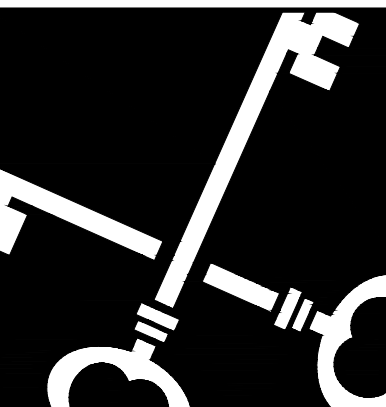
7 TYPICAL DETAIL @ INTERSECTION WITH STONE WALL  
SCALE: 6"=1'-0"



8 EXISTING DORMER VIEW (D1, D2)  
SCALE: NO SCALE

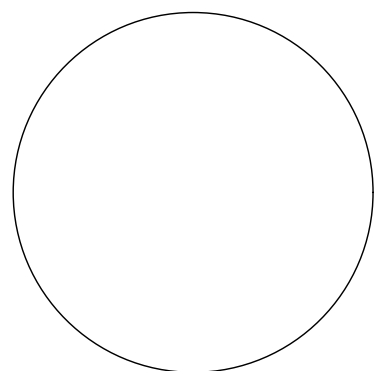


PHASE I KEY PLAN  
SCALE: NO SCALE



Crosskey  
Architects  
LLC

Architecture Preservation Planning  
750 Main Street, Hartford, CT 06103  
T: (860)724-3000 F: (860)724-3013



Slate Roof Renovations  
1921 Main Street, Hartford, CT  
Union Baptist Church  
1921 Main Street, Hartford, CT

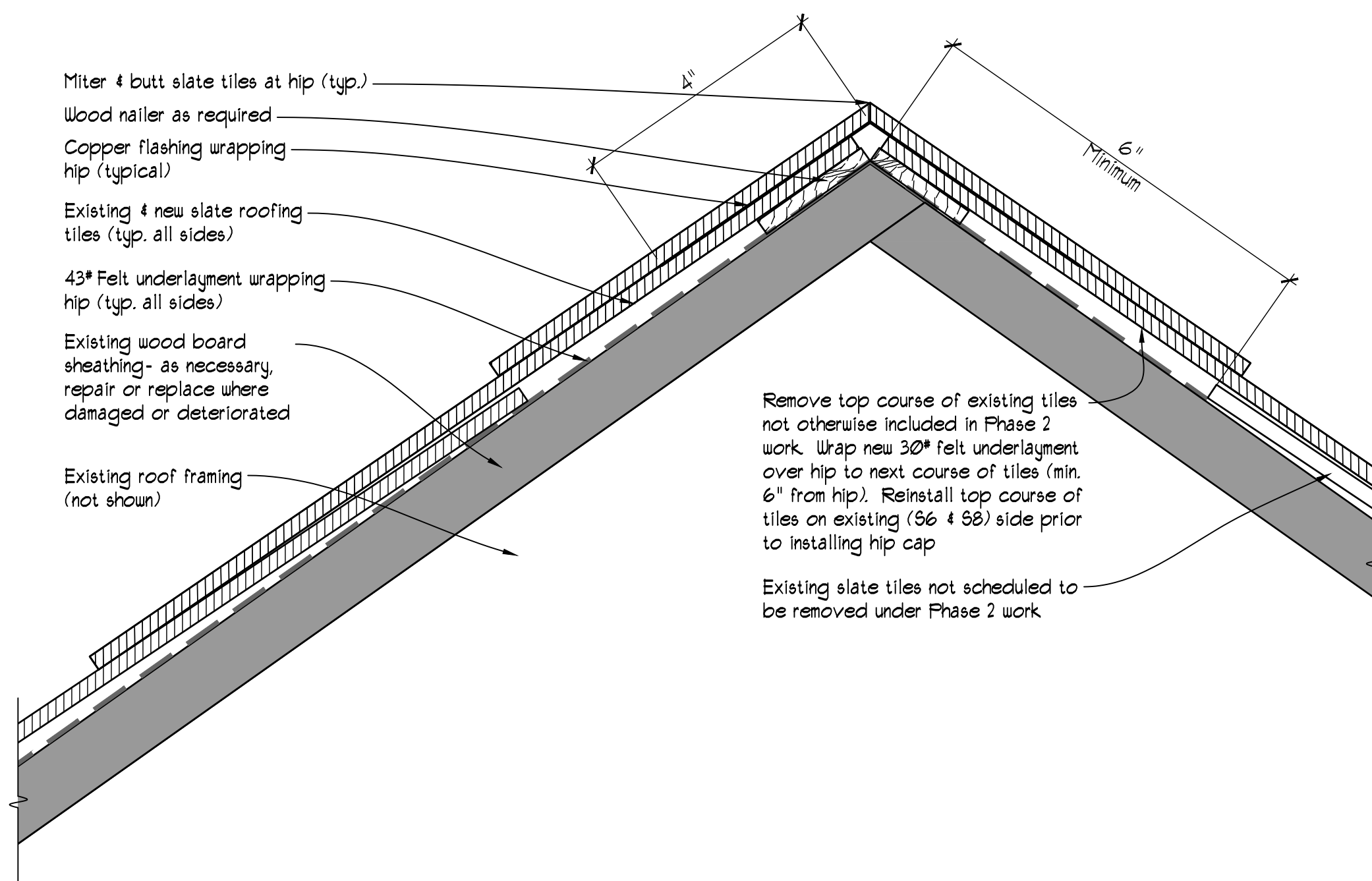
ISSUED FOR BIDDING  
NOT FOR CONSTRUCTION

Drawn: JC, CW  
Date: 10/11/2022  
Revisions:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

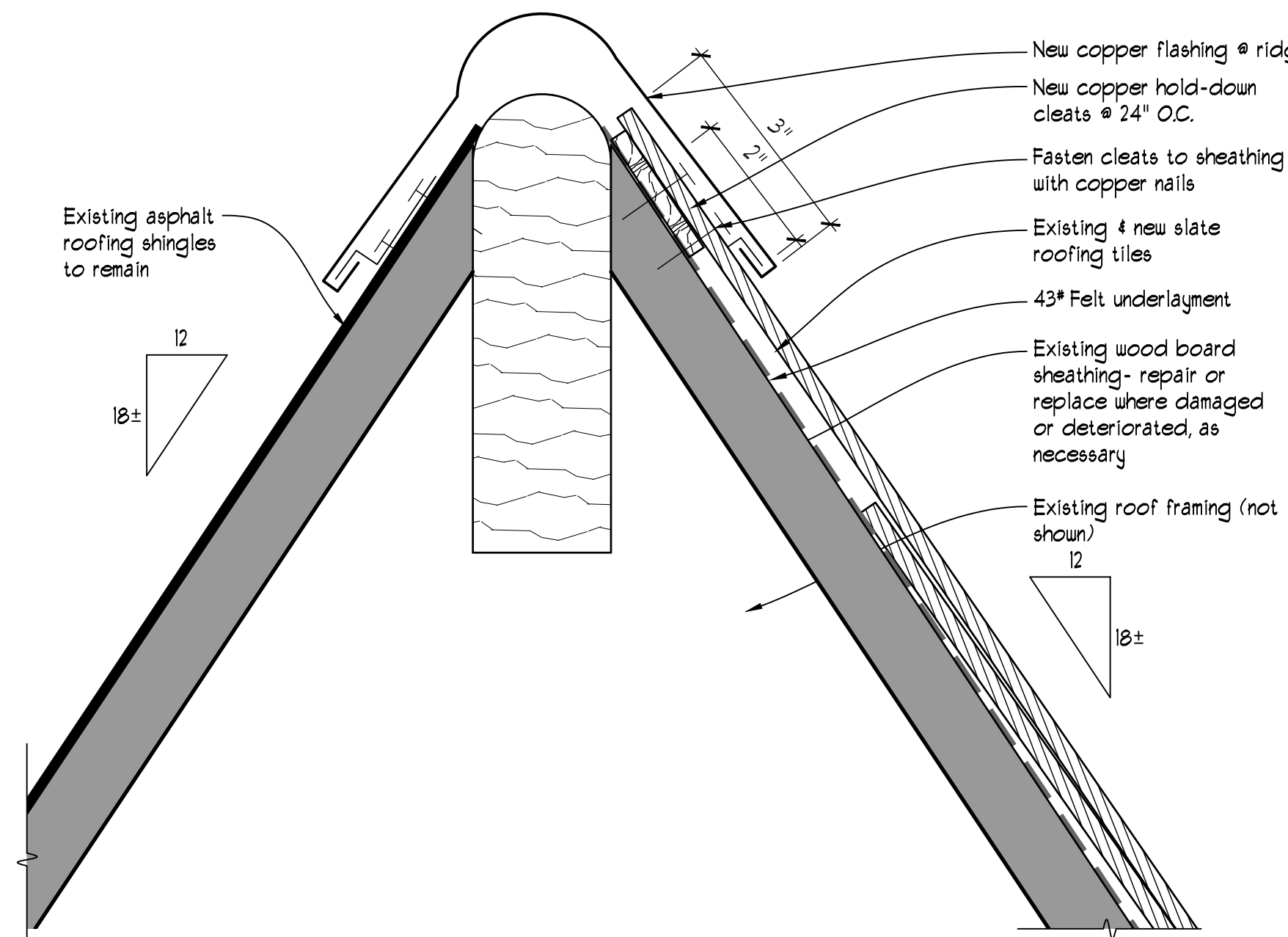
PHASE I ROOF  
DETAILS

A-101  
Copyright © 2022

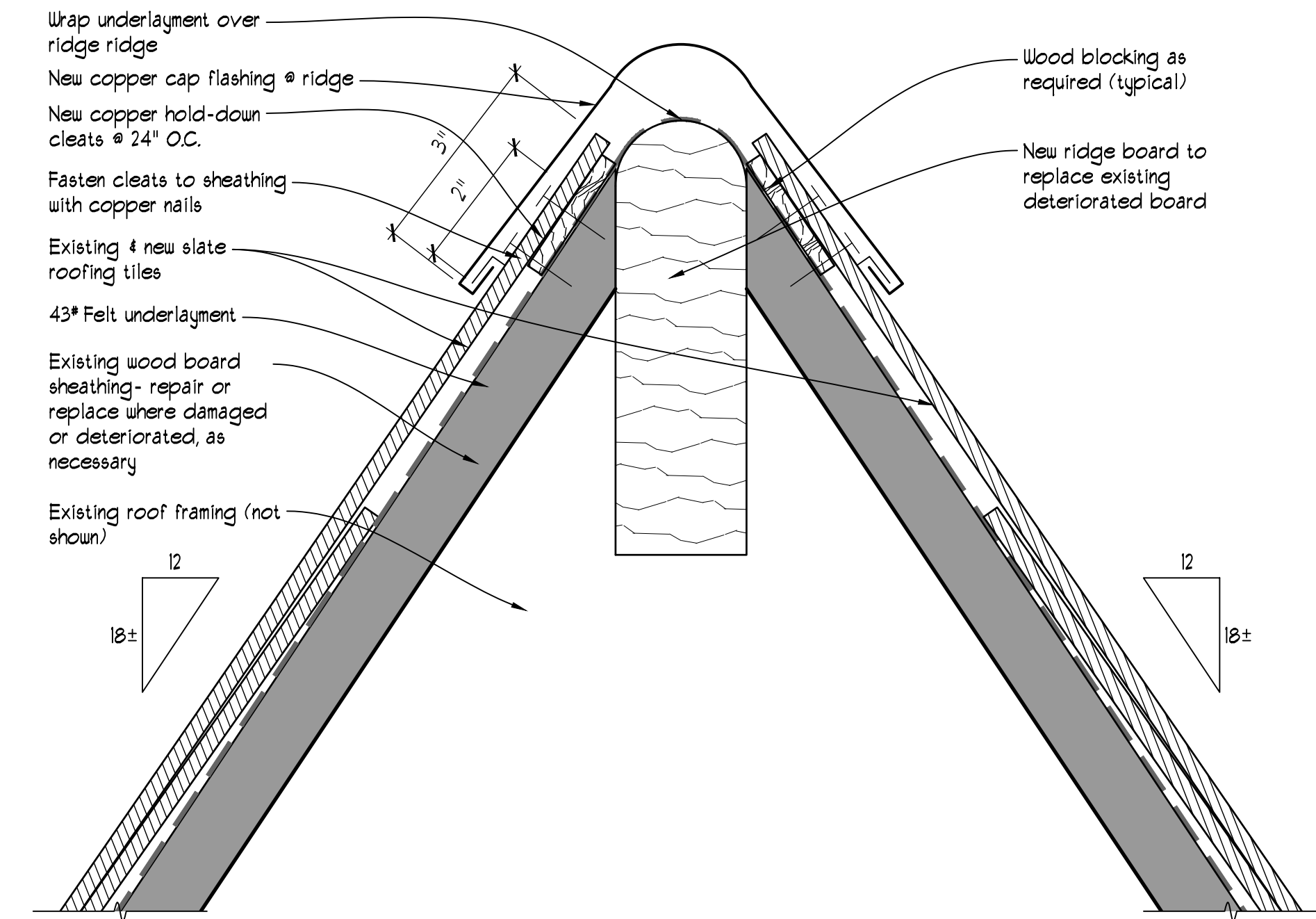




3 HIP ROOF DETAIL (S4/S6 & S5/S8)  
SCALE: 6"=1'-0"



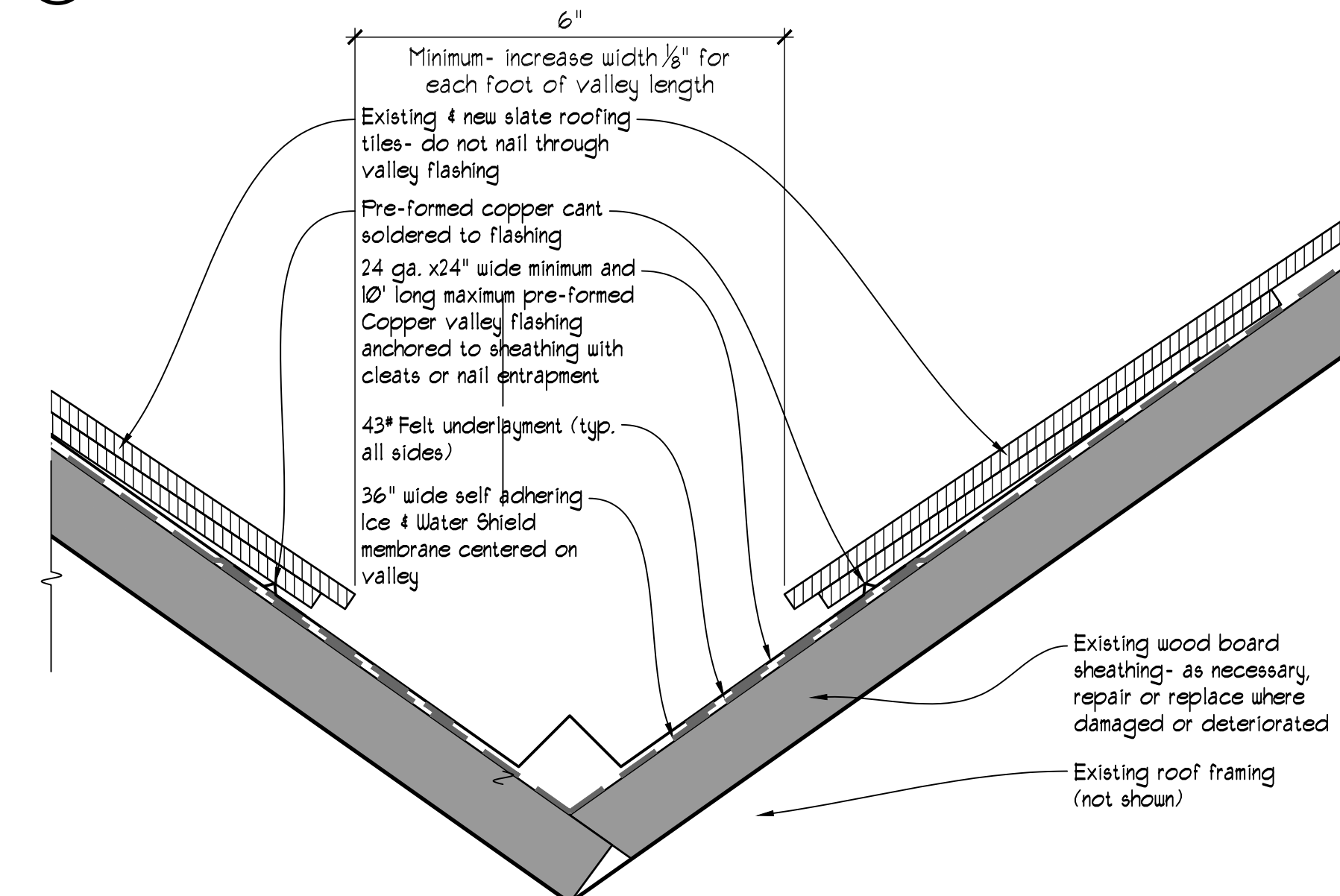
2 TRANSEPT RIDGE DETAIL (S3/S4)  
SCALE: 6"=1'-0"



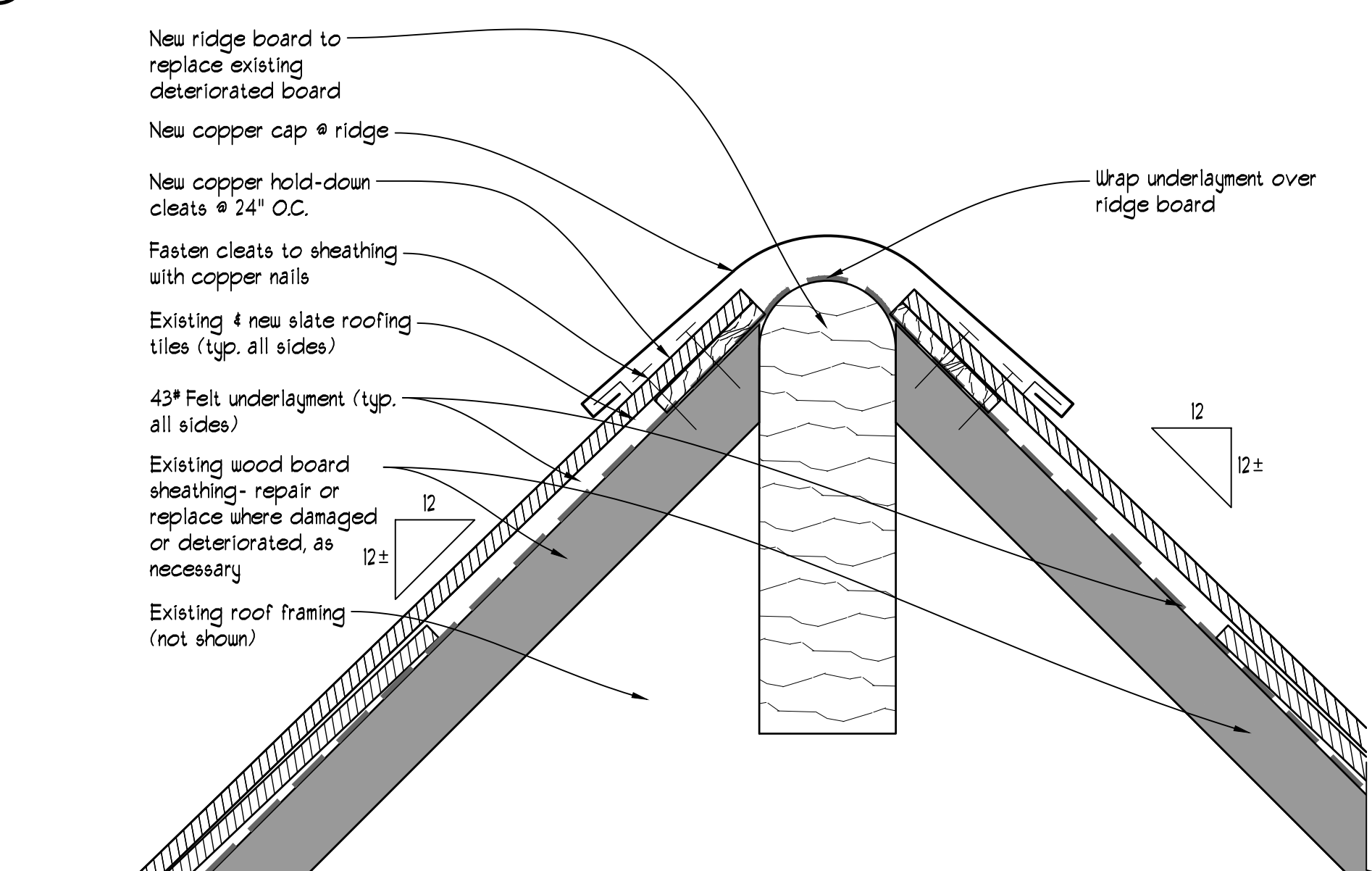
1 MAIN RIDGE DETAIL (S4/S5)  
SCALE: 6"=1'-0"

#### PHASE 2 GENERAL SCOPE OF WORK:

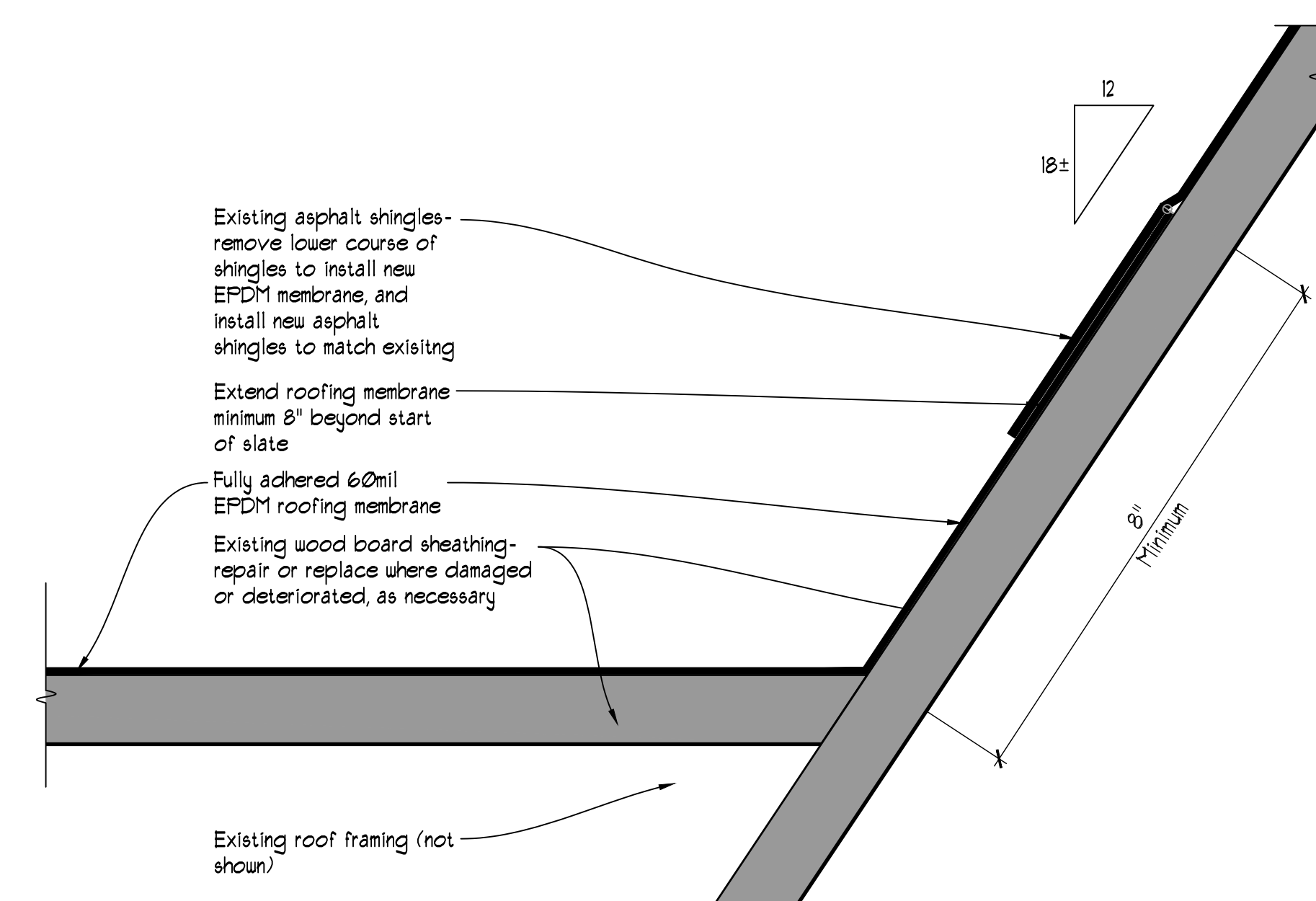
- THIS SCOPE OF WORK NARRATIVE PROVIDES A GENERAL OVERVIEW OF THE EXTENT OF THE AREA INVOLVED IN THIS SCOPE, AND IS NOT INTENDED TO IDENTIFY ALL ASPECTS OF THE WORK REQUIRED, WHICH IS GOVERNED BY THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS.
- REMOVAL OF EXISTING SLATE ROOFING & UNDERLAYMENT, AS WELL AS MEMBRANE ROOFING & UNDERLAYMENT, DOWN TO EXISTING ROOF DECK WITHIN RI, S3, S4, S5, S6, S7, AND S8 AREAS. ADJACENT AREAS AFFECTED BY THIS SCOPE INCLUDE S43, M4, M5, M6.
- EXAMINATION AND REPAIR OF EXISTING WOOD DECKING WITHIN PRIMARY AREAS AS REQUIRED.
- REPLACE EXISTING FLASHINGS AND COUNTERFLASHINGS WITHIN PRIMARY AREAS.
- INSTALLATION OF NEW ROOFING UNDERLAYMENT, ALONG WITH NEW ICE & WATER BARRIER.
- RECONSTRUCTION OF THE EXISTING BUILT-IN COPPER GUTTERS.
- REPAIR AND REPLACEMENT IN KIND OF EXISTING WOOD EAVES, RAFTER TAILS, AND TRIM AS REQUIRED.
- REINSTALLATION OF EXISTING (AND NEW, IF REQUIRED) SLATE ROOFING SHINGLES.
- REINSTALLATION OF EXISTING (AND NEW, IF REQUIRED) SNOW GUARDS.
- INSTALLATION OF NEW MODIFIED BITUMEN MEMBRANE ROOF.
- REPAIR, PREPARATION, PRIMING AND PAINTING OF WOOD EAVES, RAFTER TAILS, AND TRIM.



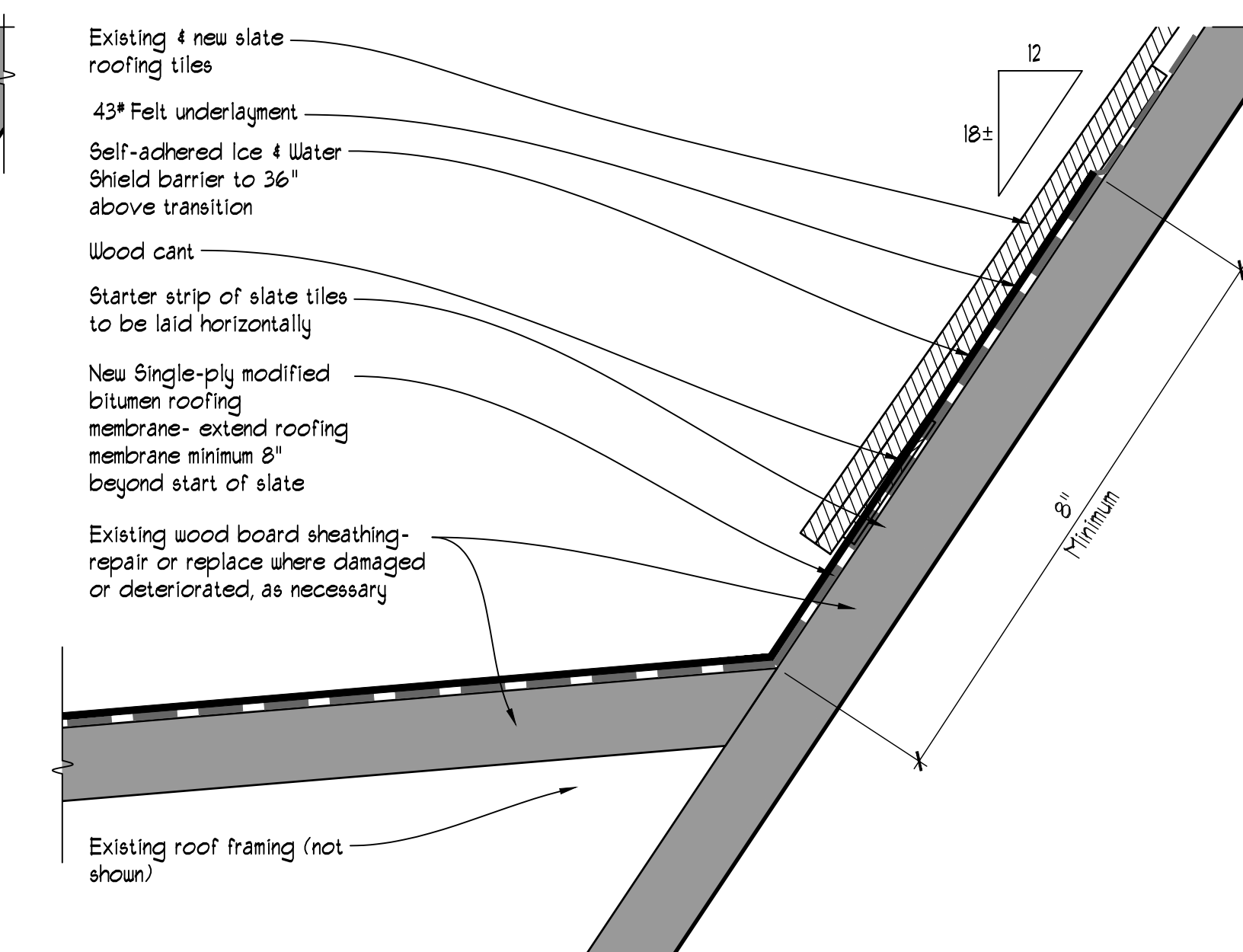
5 OPEN VALLEY DETAIL (S6a/S7)  
SCALE: 6"=1'-0"



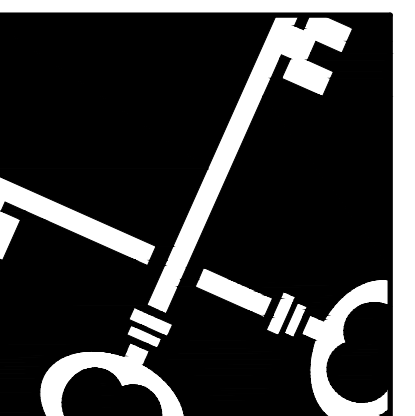
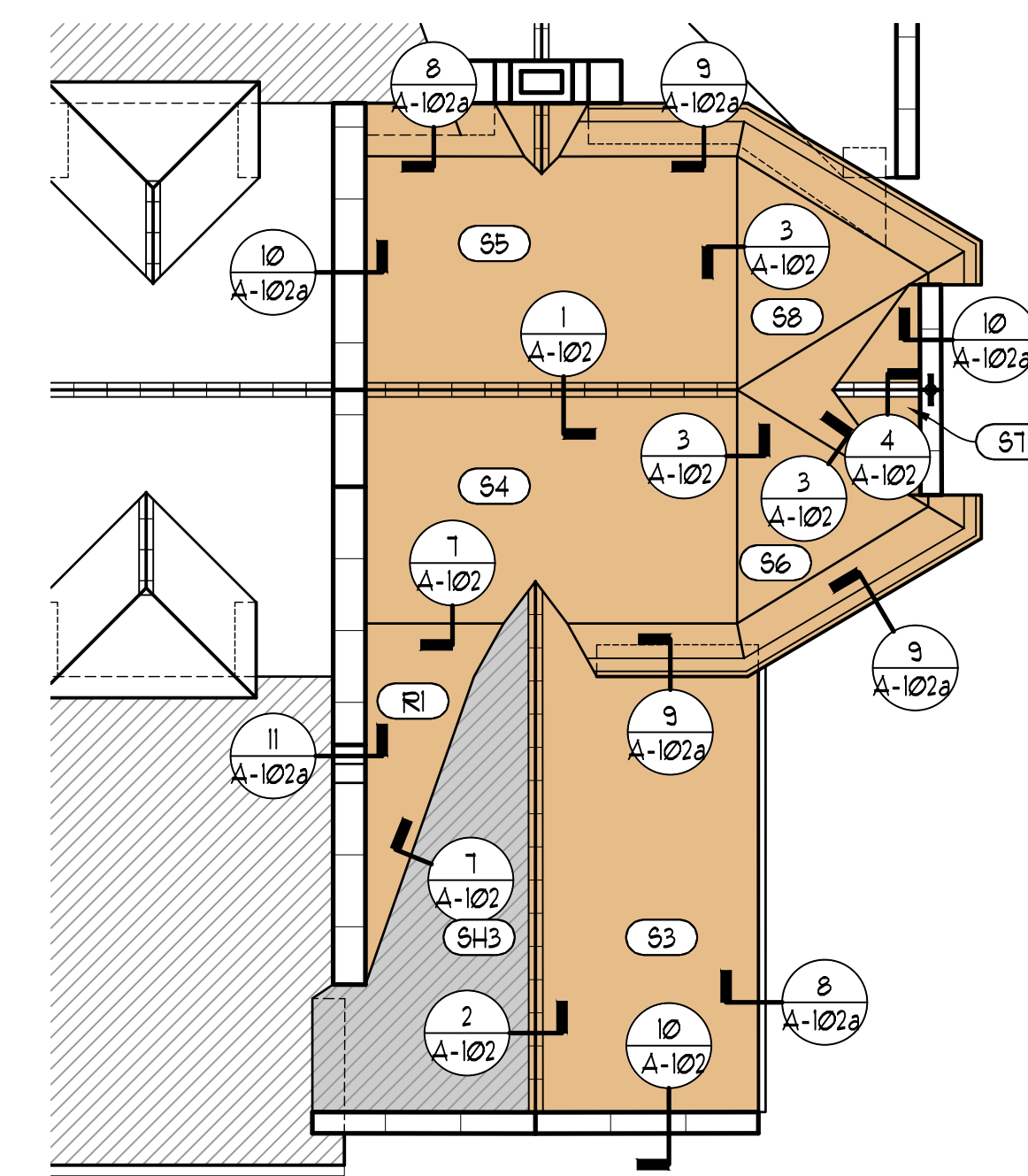
4 RIDGE DETAIL (S7)  
SCALE: 6"=1'-0"



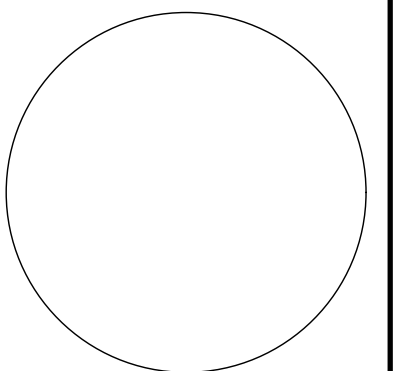
1 TRANSITION DETAIL MB ROOF/ SHINGLE ROOF (RI/S43)  
SCALE: 6"=1'-0"



6 TRANSITION DETAIL @ SLATE ROOF/ MB ROOF (S4/RI)  
SCALE: 6"=1'-0"



**Crosskey Architects**  
LLC  
Architecture Preservation Planning  
750 Main Street, Hartford, CT 06103  
T: (860)724-3000 F: (860)724-3013



**Slate Roof Renovations**  
1921 Main Street, Hartford, CT

**Union Baptist Church**  
1921 Main Street, Hartford, CT

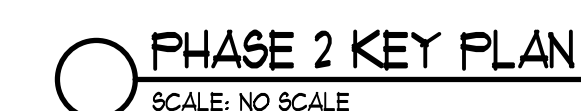
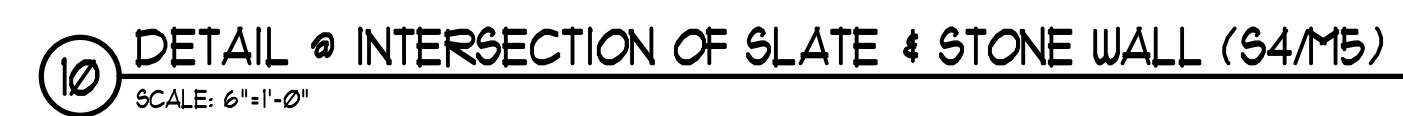
ISSUED FOR BIDDING  
NOT FOR CONSTRUCTION

Drawn: JC, CW  
Date: 10/11/2022  
Revisions:

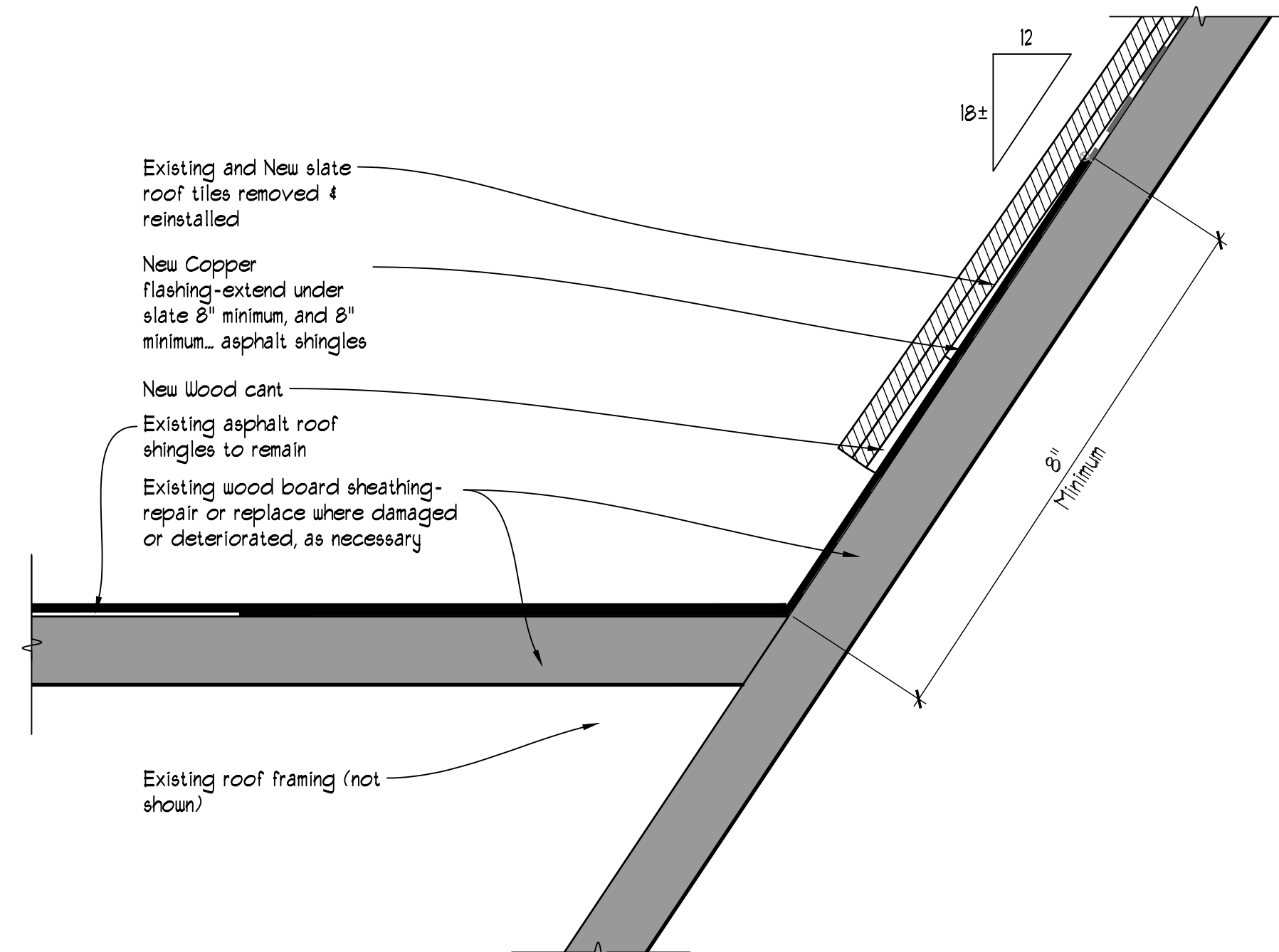
PHASE 2 ROOF DETAILS

**A-102**  
Copyright © 2022

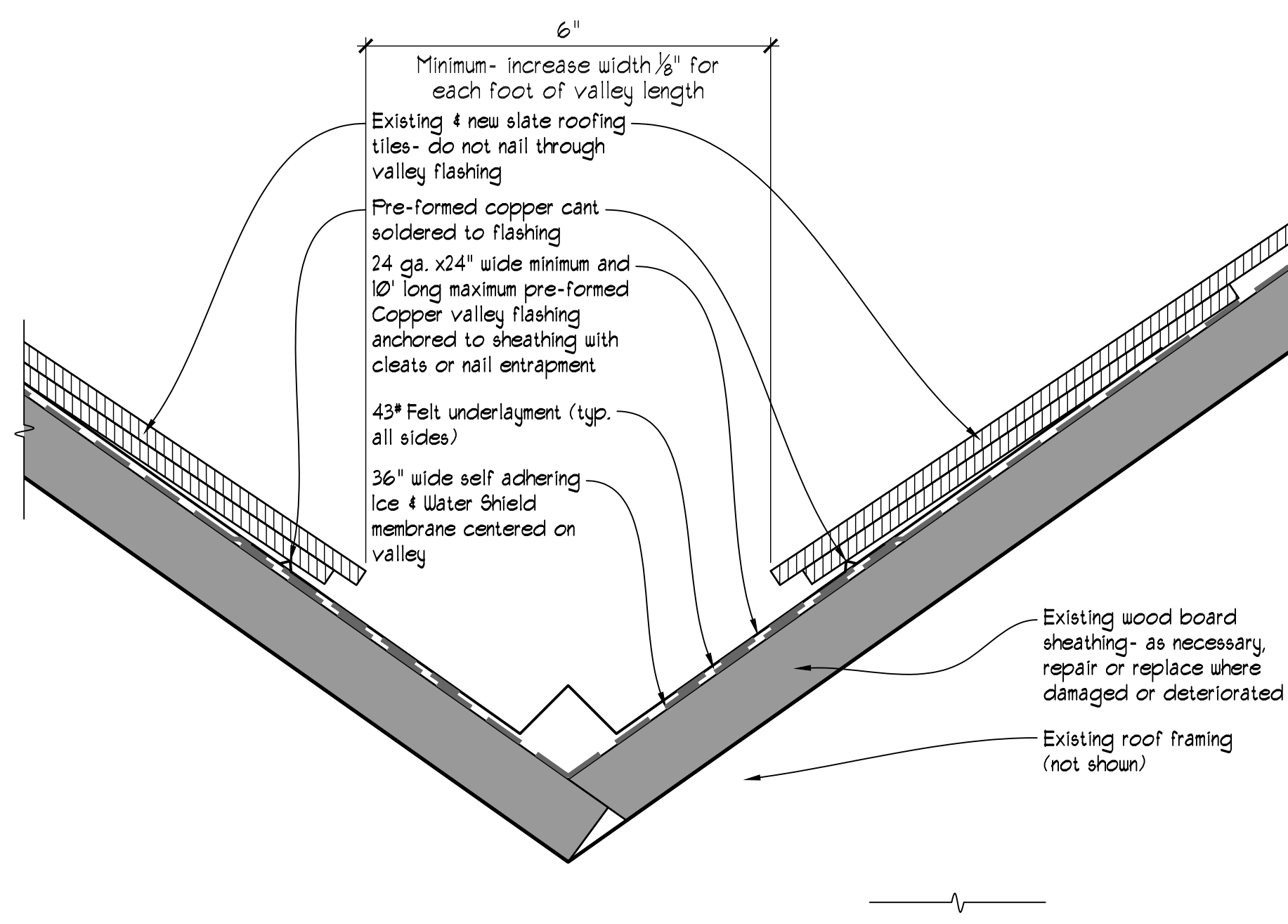




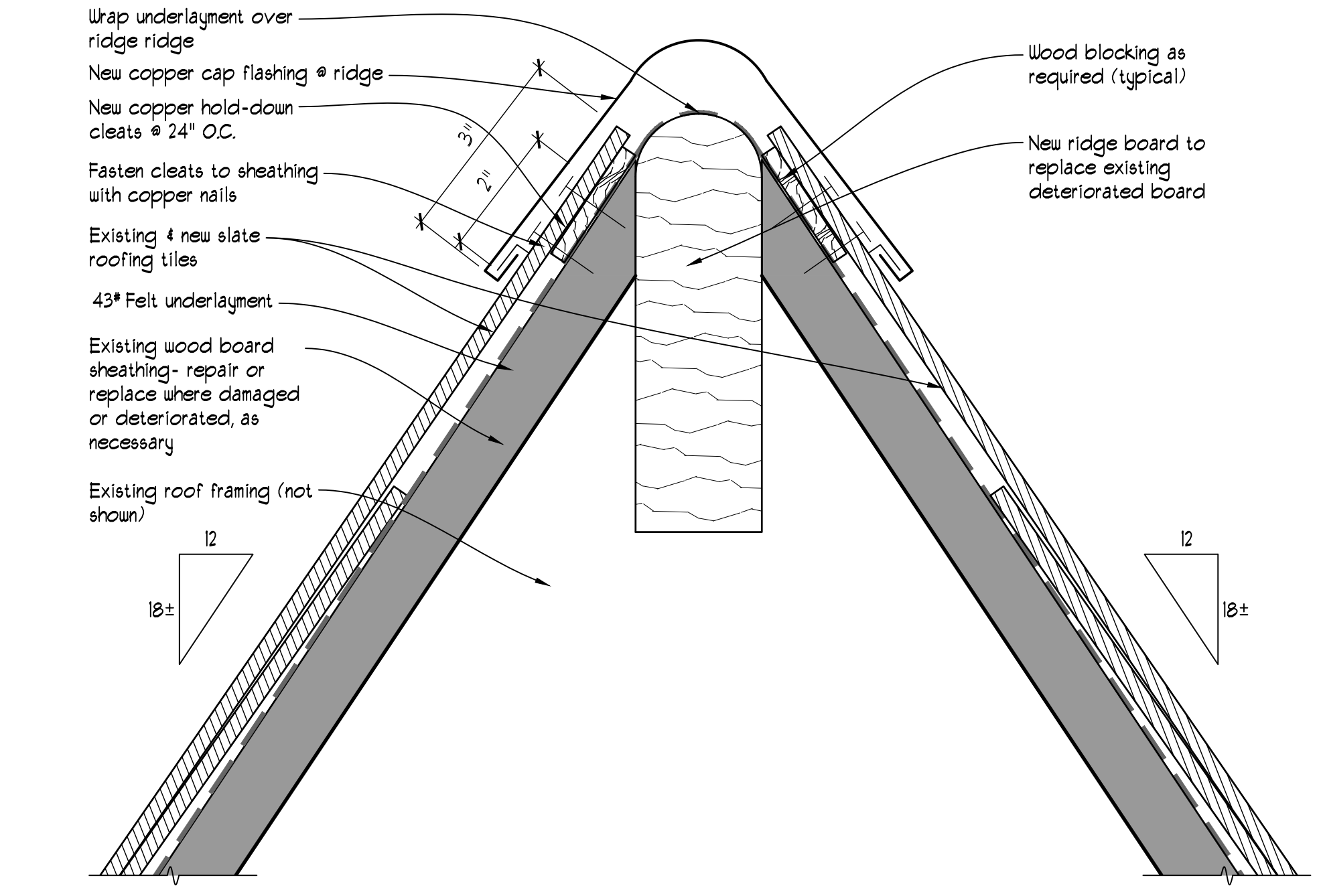




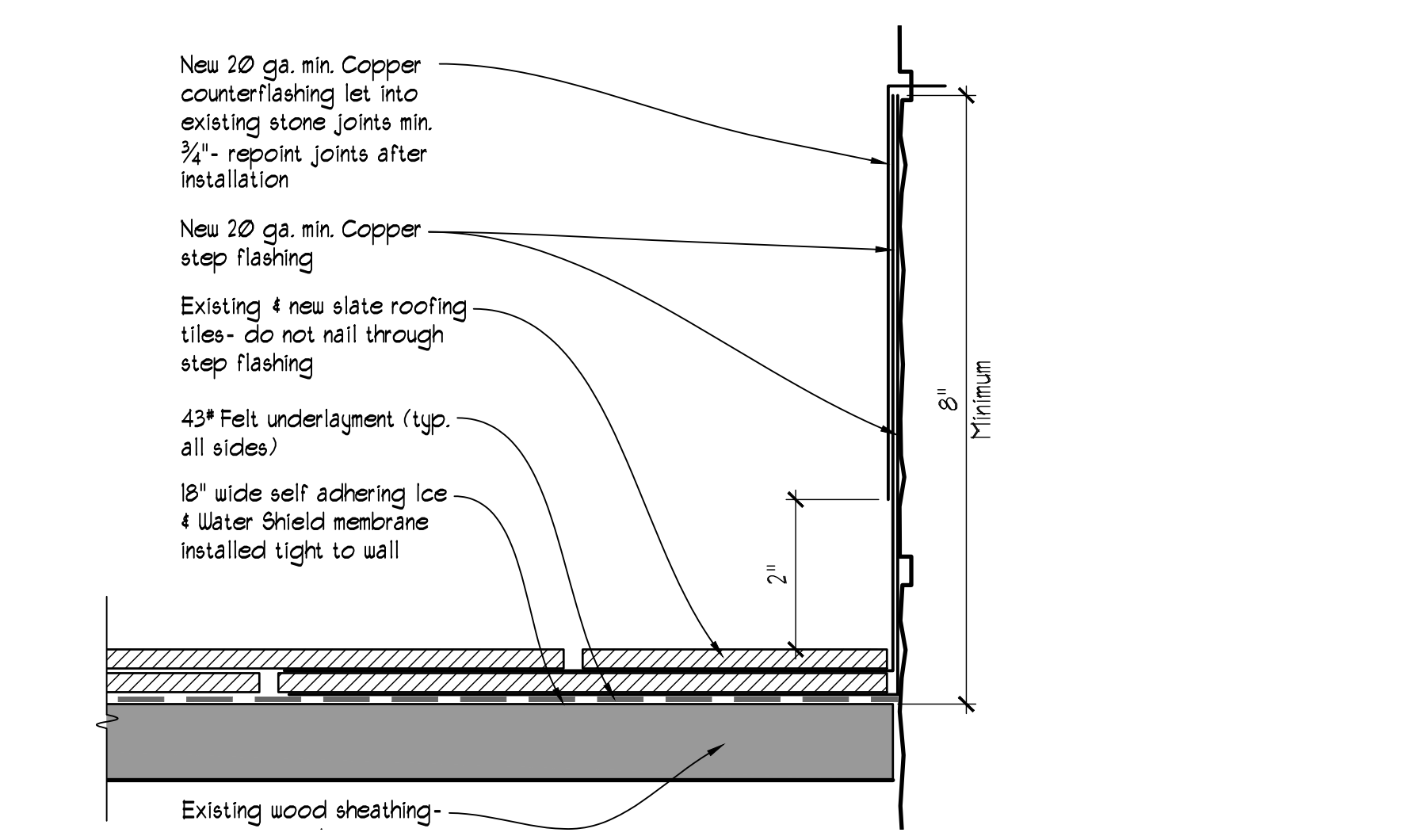
4 TRANSITION DETAIL SLATE ROOF/ SHINGLE ROOF (S12/SH3)  
SCALE: 6"=1'-0"



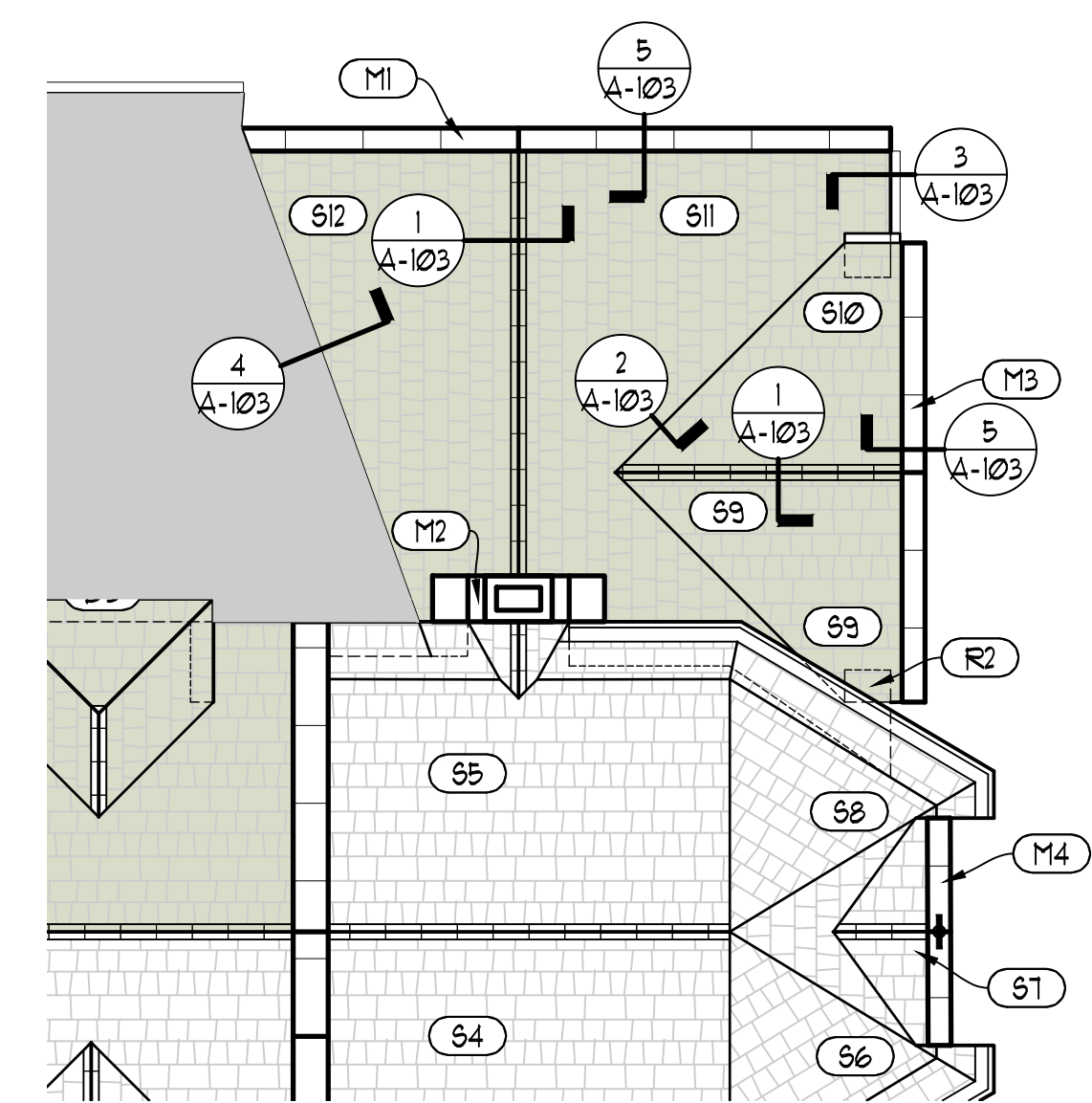
2 OPEN VALLEY DETAIL (S9/S11, S10/S11)  
SCALE: 6"=1'-0"



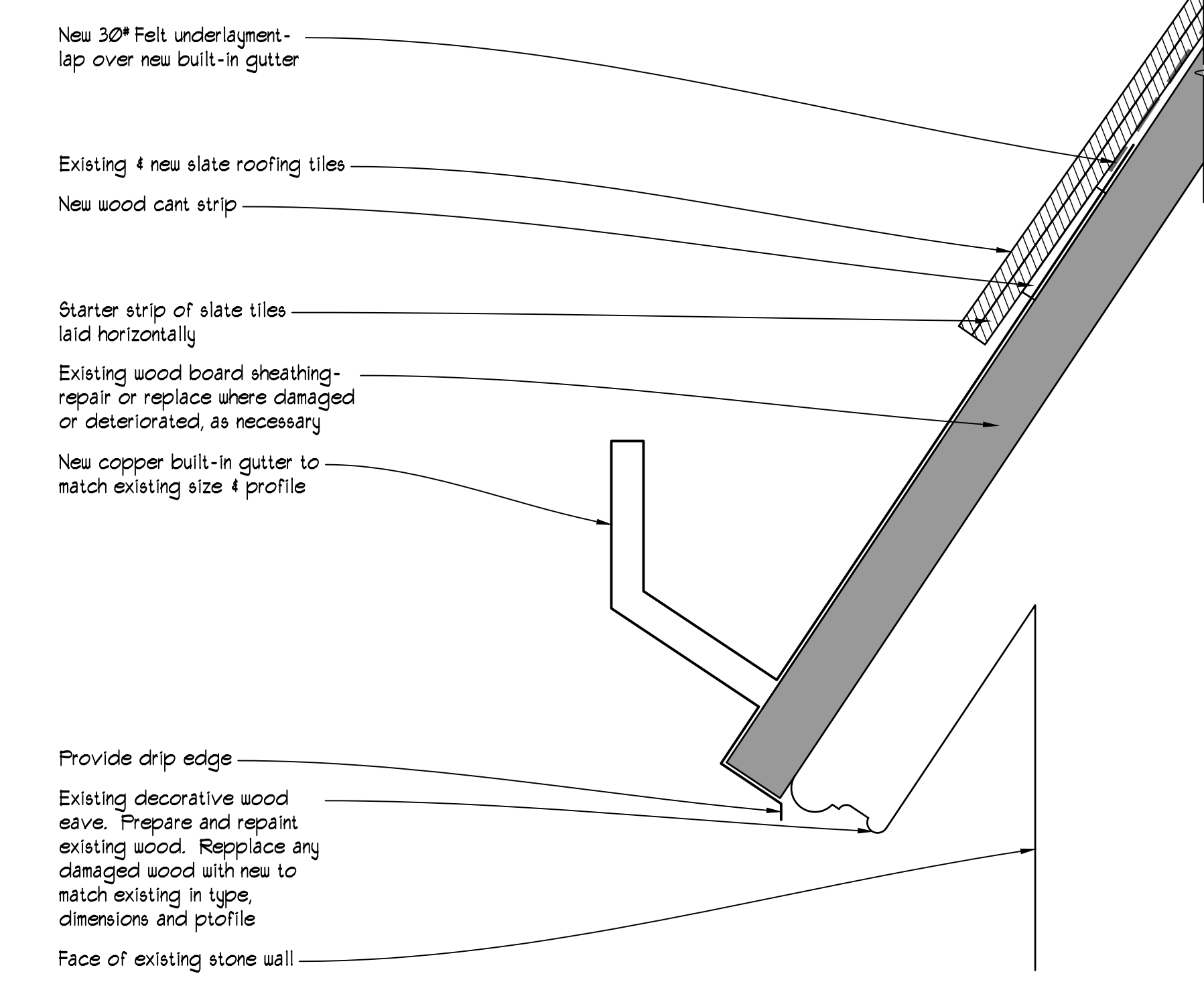
1 MAIN RIDGE DETAIL (S9, S10 & S11, S12)  
SCALE: 6"=1'-0"



5 DETAIL @ INTERSECTION OF SLATE & STONE WALL (S9/M3, S10/M3, S11/M1, S12/M1)  
SCALE: 6"=1'-0"



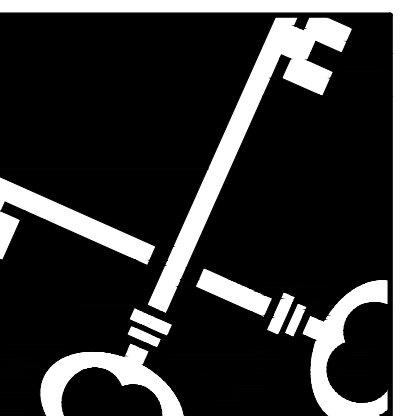
- PHASE 3 GENERAL SCOPE OF WORK:
- THIS SCOPE OF WORK NARRATIVE PROVIDES A GENERAL OVERVIEW OF THE EXTENT OF THE AREA INVOLVED IN THIS SCOPE, AND IS NOT INTENDED TO IDENTIFY ALL ASPECTS OF THE WORK REQUIRED, WHICH IS GOVERNED BY THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS.
  - REMOVAL OF EXISTING SLATE ROOFING & UNDERLAYMENT, AS WELL AS MEMBRANE ROOFING & UNDERLAYMENT, DOWN TO EXISTING ROOF DECK WITHIN R2, S9, S10, S11, S12 AREAS. ADJACENT AREAS AFFECTED BY THIS SCOPE INCLUDE SH3, M1, M2, M3.
  - EXAMINATION AND REPAIR OF EXISTING WOOD DECKING WITHIN PRIMARY AREAS AS REQUIRED.
  - REPLACE EXISTING FLASHINGS & COUNTERFLASHINGS WITHIN PRIMARY AREAS.
  - INSTALLATION OF NEW ROOFING UNDERLAYMENT, ALONG WITH NEW ICE & WATER BARRIER.
  - RECONSTRUCTION OF THE EXISTING BUILT-IN COPPER GUTTERS.
  - REPAIR AND REPLACEMENT IN KIND OF EXISTING WOOD EAVES, RAFTER TAILS, AND TRIM AS REQUIRED.
  - REINSTALLATION OF EXISTING (AND NEW, IF REQUIRED) SLATE ROOFING SHINGLES.
  - REINSTALLATION OF EXISTING (AND NEW, IF REQUIRED) SNOW GUARDS.
  - INSTALLATION OF NEW MODIFIED BITUMEN MEMBRANE ROOF.
  - REPAIR, PREPARATION, PRIMING AND PAINTING OF WOOD EAVES, RAFTER TAILS, AND TRIM.



3 DETAIL @ ROOF EAVE W/ GUTTER (S11)  
SCALE: 6"=1'-0"



6 EXISTING TRIM VIEWS  
SCALE: NO SCALE



**Crosskey Architects**  
LLC  
Architecture Preservation Planning  
750 Main Street, Hartford, CT 06103  
T: (860)724-3000 F: (860)724-3013

**Slate Roof Renovations**  
1921 Main Street, Hartford, CT  
**Union Baptist Church**  
1921 Main Street, Hartford, CT

ISSUED FOR BIDDING  
NOT FOR CONSTRUCTION

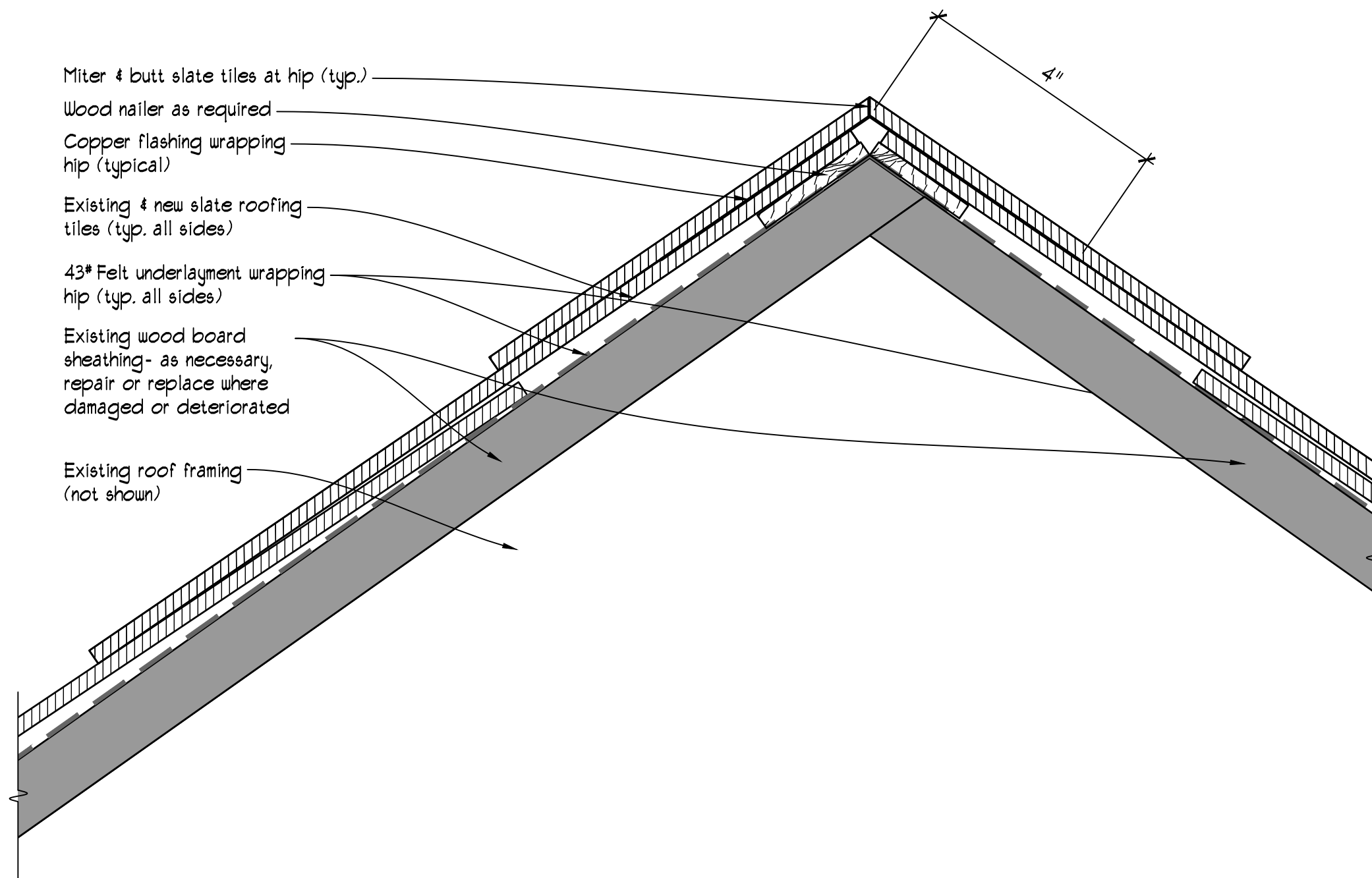
Drawn: JC, CW  
Date: 10/11/2022  
Revisions:

PHASE 3 ROOF DETAILS

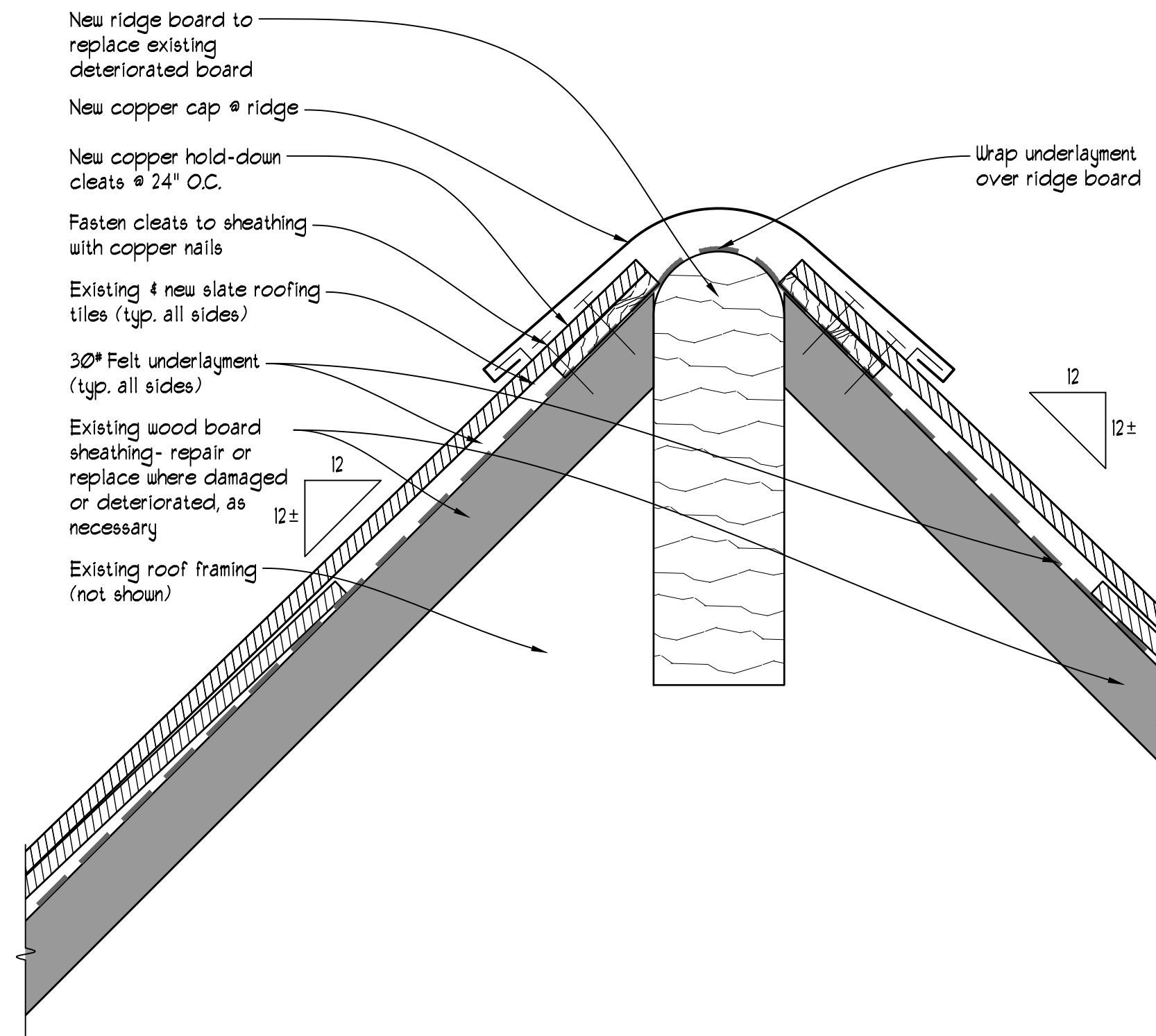
**A-103**

Copyright © 2023

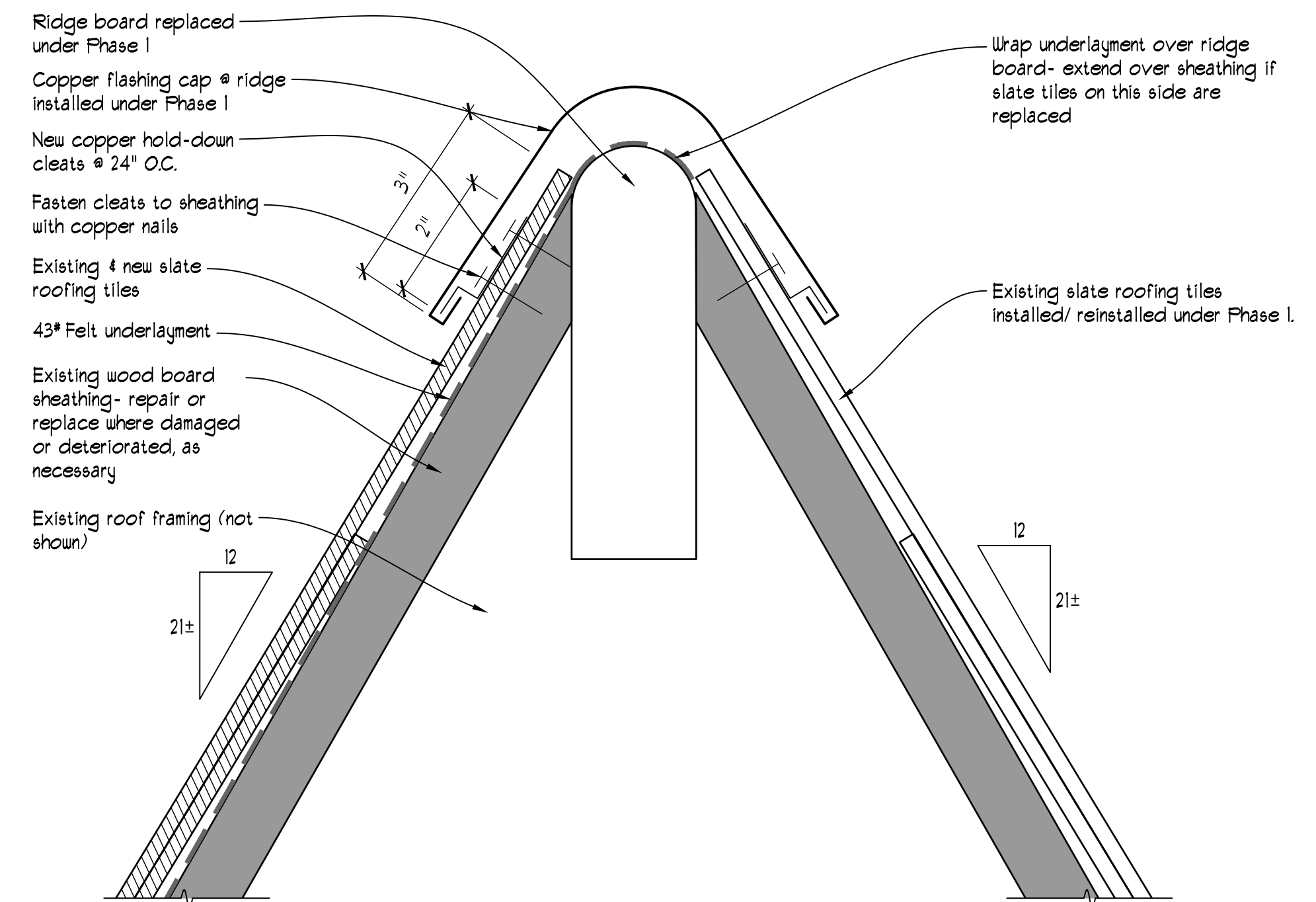




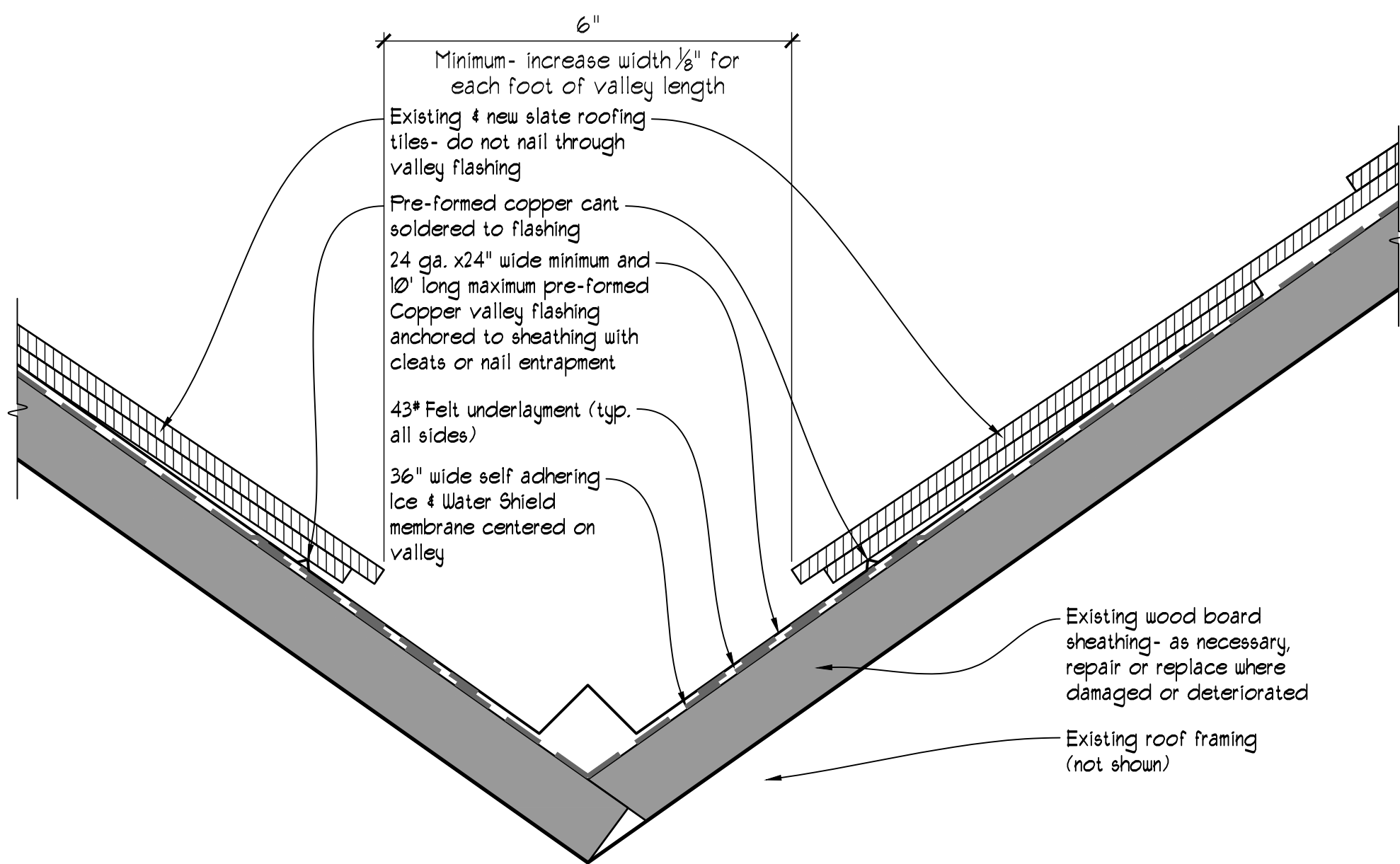
4 TYPICAL DORMER HIP DETAIL  
SCALE: 6"=1'-0"



3 TYPICAL DORMER RIDGE DETAIL  
SCALE: 6"=1'-0"



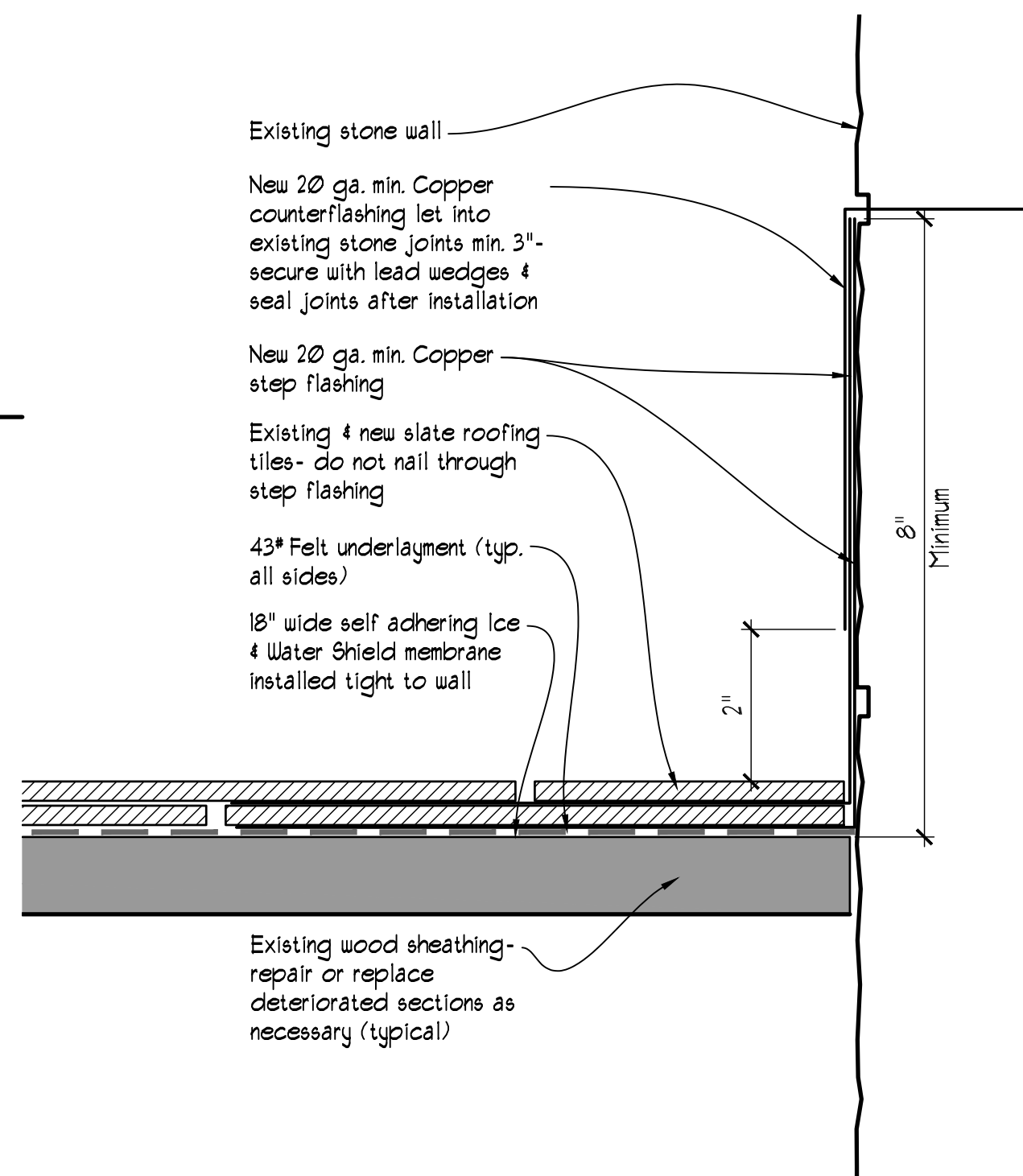
2 TYPICAL RIDGE DETAIL  
SCALE: 6"=1'-0"



5 TYPICAL VALLEY DETAIL  
SCALE: 6"=1'-0"

PHASE 4 GENERAL SCOPE OF WORK:

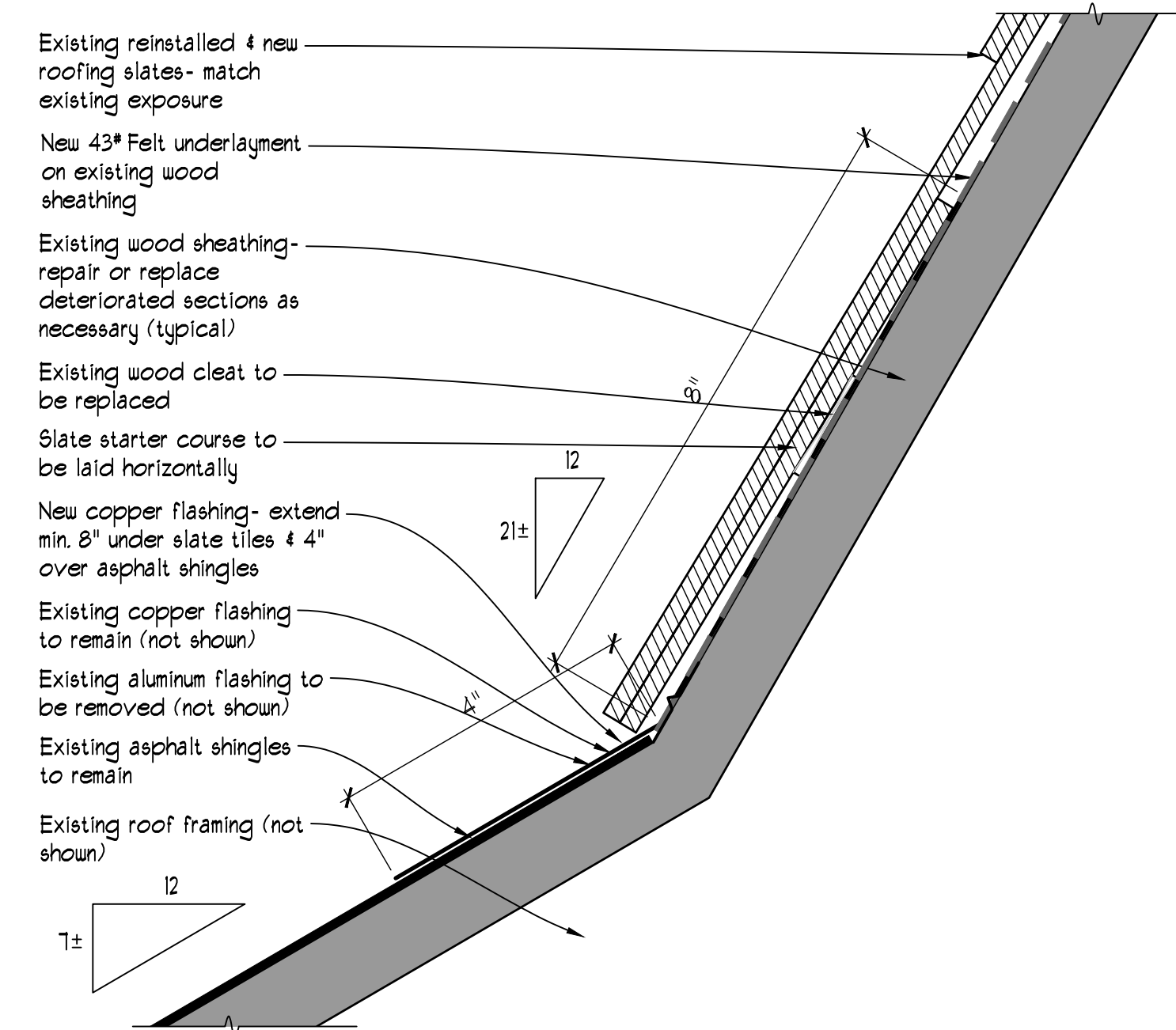
1. THIS SCOPE OF WORK NARRATIVE PROVIDES A GENERAL OVERVIEW OF THE EXTENT OF THE AREA INVOLVED IN THIS SCOPE, AND IS NOT INTENDED TO IDENTIFY ALL ASPECTS OF THE WORK REQUIRED, WHICH IS GOVERNED BY THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS.
2. REMOVAL OF EXISTING SLATE ROOFING & UNDERLAYMENT DOWN TO EXISTING ROOF DECK WITHIN S2, D3, D4, & D2 AREAS. ADJACENT AREAS AFFECTED BY THIS SCOPE INCLUDE S43, S1, M5.
3. EXAMINATION AND REPAIR OF EXISTING WOOD DECKING WITHIN PRIMARY AREAS AS REQUIRED.
4. REPLACE EXISTING FLASHINGS AND COUNTERFLASHINGS WITHIN PRIMARY AREAS.
5. INSTALLATION OF NEW ROOFING UNDERLAYMENT, ALONG WITH NEW ICE & WATER BARRIER.
6. REPAIR AND REPLACEMENT IN KIND OF EXISTING WOOD EAVES, RAFTER TAILS, AND TRIM AS REQUIRED.
7. REINSTALLATION OF EXISTING (AND NEW, IF REQUIRED) SLATE ROOFING SHINGLES.
8. REINSTALLATION OF EXISTING (AND NEW, IF REQUIRED) SNOW GUARDS.
9. REPAIR, PREPARATION, PRIMING AND PAINTING OF WOOD EAVES, RAFTER TAILS, AND TRIM INCLUDING ENTIRE D3, D4, D5 DORMERS.



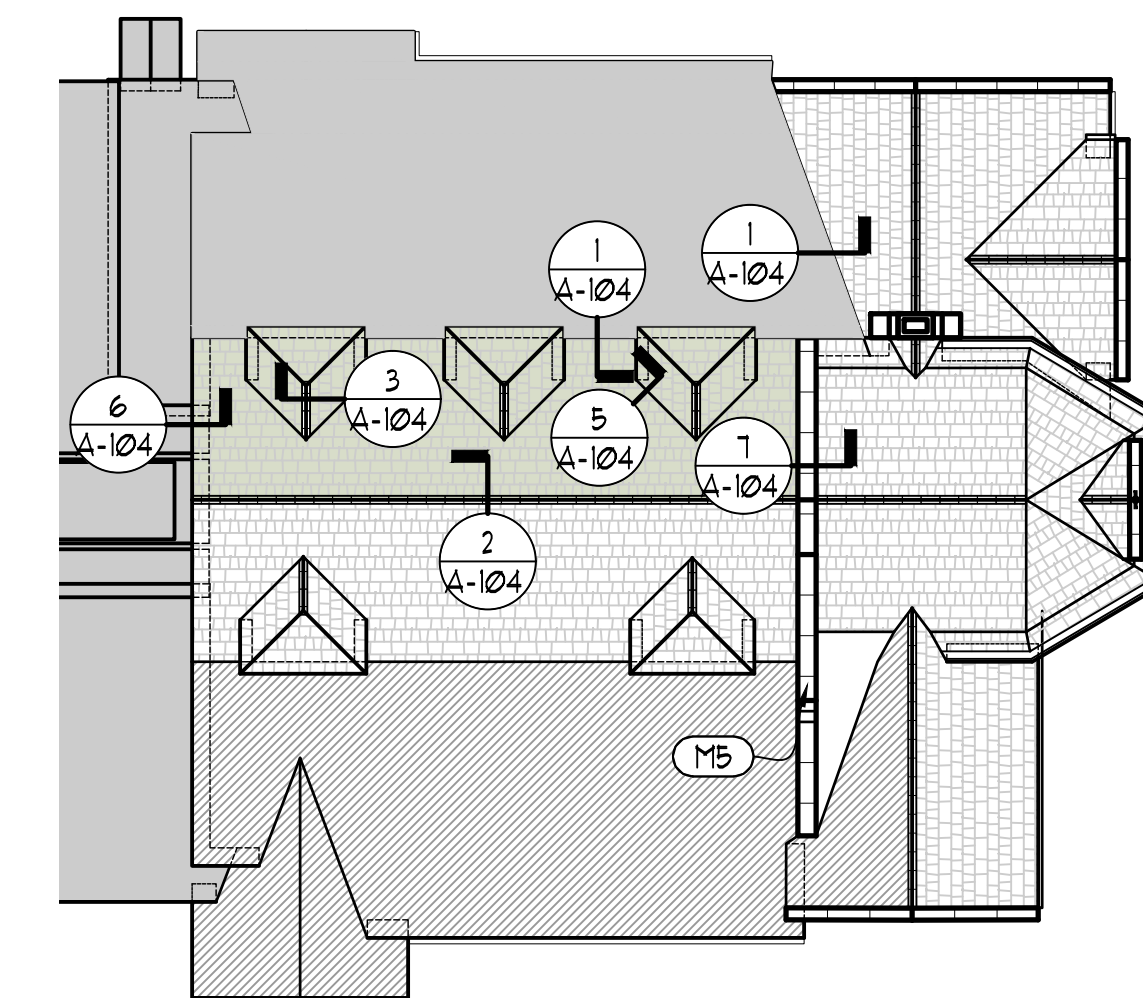
7 TYPICAL DETAIL @ INTERSECTION WITH STONE WALL  
SCALE: 6"=1'-0"



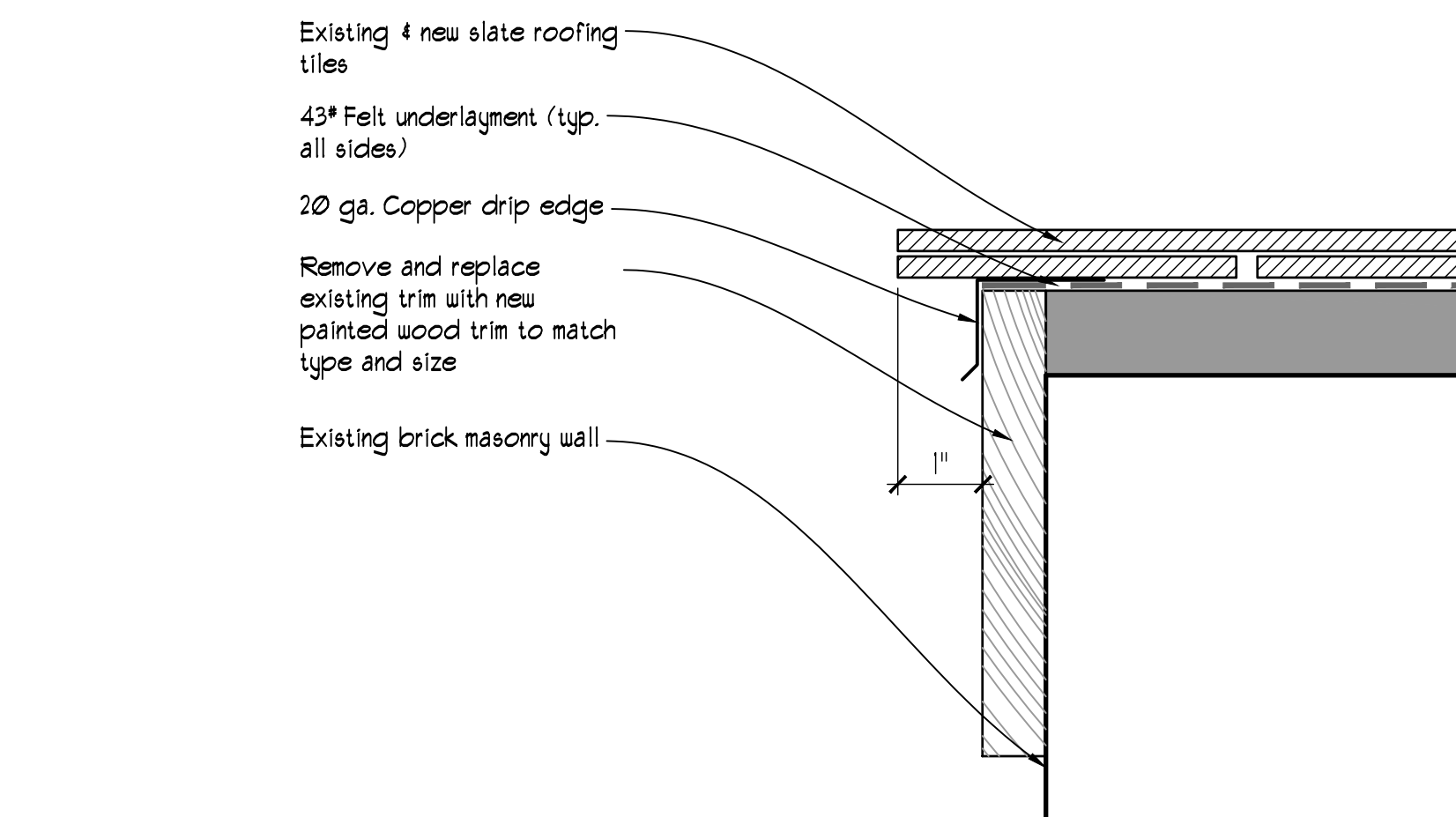
8 EXISTING TRIM VIEW  
SCALE: NO SCALE



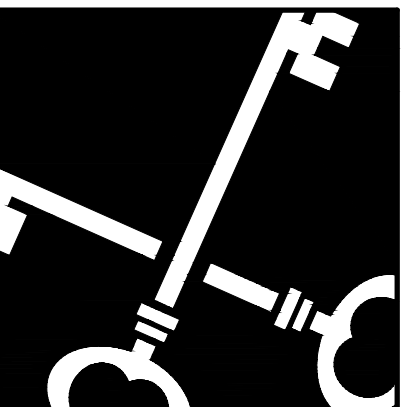
1 TRANSITION DETAIL @ SHINGLE ROOF  
SCALE: 6"=1'-0"



9 PHASE 4 KEY PLAN  
SCALE: NO SCALE



6 TYPICAL RAKE DETAIL @ WEST EDGE OF MAIN ROOF (S1)  
SCALE: 6"=1'-0"



Crosskey  
Architects  
LLC  
Architecture Preservation Planning  
750 Main Street, Hartford, CT 06103  
T: (860)724-3000 F: (860)724-3013

Slate Roof Renovations  
1921 Main Street, Hartford, CT  
Union Baptist Church  
1921 Main Street, Hartford, CT

ISSUED FOR BIDDING  
NOT FOR CONSTRUCTION

Drawn: JC, CW  
Date: 10/11/2022  
Revisions:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PHASE 4 ROOF  
DETAILS

A-104  
Copyright © 2022



